# CITY OF MERCER ISLAND





# **INSPECTION REQUESTS:**

online	2:
_	MyBuildingPermit.com

MERCE DE LA COMPANIA DEL COMPANIA DE LA COMPANIA DEL COMPANIA DE LA COMPANIA DE L	ASHINGTO'	voicemail: (206) 275-7730
ASHING TO		
TE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO NTACT INFORMATION:	D PUBLIC DISCLOSURE AS R	EQUIRED BY RCW 42.56
olicant is to complete the following information.		
olicant Contact information prior to permit issuance:	Applicant Contact infor	mation <i>post</i> permit issuance:
me:	Name:	
dress:	Address:	
one:	Phone:	
nail:		
EQUIRED SPECIAL INSPECTIONS / STRUCTURE of Record's responsibility to specify all require owner is responsible for hiring an approved private Special	ed Special Inspections or Structu	ral Observation (check items below).
pectors (except Geotechnical) must be WABO certified. nen Special Inspection or Structural Observation is required, t pection. Note: Inspection by the City Inspector is required in low. Do not cover or conceal any work prior to the City inspe	addition to the Special Inspection	
STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EO	R):	
Engineer of Record: C		
General Conformance to Construction Documents	∟」 Other:	
SOILS / GEOTECHNICAL: Special Inspector: C	ompany:	Phone:
<ul> <li>Erosion control measures</li> <li>Shoring installation and monitoring</li> <li>Observe and monitor excavation</li> <li>Verification of soil bearing</li> </ul>	Verify fill material and Rockery installation	placement d compaction cast/driven pile)
Other:	Other:	
REINFORCED CONCRETE: Special Inspector: C	ompany:	Phone:
Concrete strength	Retaining wall constru	uction
<ul><li>Reinforcing steel and concrete placement</li><li>Shotcrete placement</li></ul>		construction
Other:	Other:	
STRUCTURAL STEEL: (AISC 360, Chapter N)		
Special Inspector: C  Fabrication and shop welds		
		ruction
Other:	Other:	
STRUCTURAL MASONRY:	omnany	Phone:
Special Inspector: C  Mortar strength		stallation
Masonry unit strength	Wall panel and venee	
Other: Other:	Other: Other:	
WOOD:		
Special Inspector /		
	ompany: High strength diaphra	Phone:
<ul><li>☐ Lateral resisting system construction</li><li>☐ Other:</li></ul>	Other:	giii construction
OTHER SPECIAL INSPECTIONS:		
<u></u>	ompany:	Phone:
<ul><li>Epoxy grout installations</li><li>Expansion anchor installations</li></ul>	Stucco installation Infiltration System	
Other post installed anchors		iish System (EIFS) installation
Alternative construction methods:	Other:	
Alternative construction materials:	Other:	
EFERRED SUBMITTALS:  Applicant is required to select all deferred submittals / short rication / construction.	op drawings for submittal to the	City for review and approval prior to iter
<ul><li>Connector plate wood trusses</li><li>Metal joist / metal trusses</li></ul>	Post tension layout Exterior cladding	
Premanufactured structures (stairs, etc.)	Window wall / curtain	n wall construction
Precast concrete elements	Other:	
Other:  JERGY CODE COMPLIANCE INFORMATI	ON:	
icate where the following information is located in the drav scriptive Compliance (RECPC) Form into the drawing set.		te or include the Residential Energy Code
Sheet:		
Building envelope: wsec Table 402.1.1	Air Leakage Testing. #	
(include U-factors, insulation and moisture control)  Whole house ventilation: IRC Section M1507 WA Amended	-	ge test report verifying air leakage rate ed 5 air changes per hour.
(include ventilation option and duct sizing if applicable)	does not to exceed to be a constant to exceed the constant to ex	
Energy Credit Information: wsec Table 406.2	Postconstruction Tes	t. WSEC R403.2.2.1
(include specific, written requirements)  RECPC Form Information:	M Rough-in Test. wsec R403	2.2.3
(if incorporated within drawing set)	<del>_</del>	
http://www.mercergov.org/files/2012ResidentialEnergyCalcForm.pdf		

DSG	PROJECT ALERTS:  Construction of the project shall be from <i>approved plans only</i> . No deviation from the approved project plans is allowed without prior	<b>SQ</b> R
TO BE COMPLETED BY	approval from the City of Mercer Island. Approved plans must be kept on site and maintained in good condition.  ✓ Refer to "Conditions of Permit Approval" provided at permit issuance for required construction rules and regulations, including:  • Site Considerations  • ROW restrictions  • Additional Fire Code Requirements  • Planning Requirements  • Noise Abatement Certification  • Acess Road Requirements  • Water Service Requirements  • Tree Requirements  ✓ Temporary site address with minimum 6" high numbers visible from the street must be installed.  ✓ Erosion control measures must be as shown on approved project drawings. All erosion control is to be in place and inspected prior to the start of any site work.  ✓ A City of Mercer Island Business License is required for all subcontractors. Call (206) 275-7783 for more information.	TO BE COMPLETED BY
	TREE PROTECTION REQUIREMENTS:	4 1
	<ul> <li>✓ Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project.</li> <li>✓ No trees shall be cut without a City of Mercer Island tree permit.</li> <li>☐ Replacement trees must be a minimum of six feet tall at installation. They must be planted and approved prior to final inspection.</li> <li>☐ For this project, trees are authorized to be removed and replaced with trees.</li> <li>☐ This project appears to be within a protected eagle nest area. Contact Federal Fish and Wildlife at (360) 534-9304 or visit their website at http://www.fws.gov/pacific/eagle</li> </ul>	
	FIRE PROTECTION REQUIREMENTS:  Separate Permits are required for ALL fire protection systems. For more information, see <a href="http://www.mercergov.org/Page.asp?NavID=2614">http://www.mercergov.org/Page.asp?NavID=2614</a>	
	☐ Fire Sprinkler ☐ Monitored Household	1
	<ul><li>□ NFPA 13D</li><li>□ Plus</li><li>□ Monitored Sprinkler</li></ul>	
	NFPA 13R Water Flow Alarm	
	<ul><li>□ NFPA 13</li><li>□ Approved Fire Code Alternatives:</li></ul>	
	FCA1FCA3	
	WATER CLIRRLY REQUIREMENTS.	-
ŀ	WATER SUPPLY REQUIREMENTS:	1 1
(5)	<ul> <li>☐ Fire sprinkler design calculations must be provided prior to determining water supply system requirements.</li> <li>☐ Water Supply system upgrade required</li> <li>☐ City Installation.</li> <li>☐ Applicant Installation.</li> <li>Required Service Line Size:</li> <li>☐ Required Supply Line Size:</li> <li>☐ Required Meter Size:</li> <li>☐ (water main to meter)</li> <li>☐ Abandonment of existing service and meter required at main.</li> </ul>	
BY DSG	Pressure reducing valve required if pressure exceeds 80 psi.  Reduced pressure backflow assembly (RPBA) required for all lots with waterfront or non-city water supply (private wells or lake irrigation).	BY DSG
덾	Additional water supply requirements:	
빌	DRAINAGE REQUIREMENTS:	1 🗒
COMPI	<ul><li>☐ On site detention system required</li><li>☐ On site infiltration system required</li><li>☐ No Storm Water permit required</li></ul>	COMPLE
S	As-built Utility drawings required Connection to public storm drainage conveyance system req'd. Utility drawings required. Other:	
BE	SIDE SEWER REQUIREMENTS:	
임	Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is	
	lower than the elevation of the upstream manhole rim or when side sewer is shared with one or more properties.  Uideo tape of existing sewer required (see standard details)	-
	☐ New connection. ☐ Connect to existing. ☐ Disconnect permit required. ☐ Reconnect permit required.	
	Other:	
	Mercer Island Maintenance Department at (206) 275-7800.	
	APPROVED CODE ALTERNATIVES:	
ŀ	Code alternatives must be Inspected. Refer to the Inspection Checklist  CA1: CA2:	1 1
,	SURVEY REQUIREMENTS (The following survey information must be submitted when checked):  Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation Inspection. A property survey may be required to verify setbacks and in some cases buildings must be surveyed onto the lot. The City reserves the right to request an impervious area survey at any time prior to issuance of Certificate of Occupancy.	
Ī	Surveyor:Phone:	1
	<ul><li>Building height survey</li></ul>	
	☐ Impervious surface survey	
	Other:  MAXIMUM 40 PERCENT ALTERATION INSPECTION: MICC 19.01.050(D)(1)(b)(i)  A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than 40 percent of the dwelling's exterior walls are structurally altered. Contact the Building Inspector at (206) 275-7730.	9
-	☐ Civil / Drainage ☐ LUP / Setback requirements  GEOTECHNICAL INFORMATION:	A
	Land clearing, grading, filling and foundation work within geologic hazard areas is <b>NOT PERMITTED</b> between October 1 and April 1	
DSG	without an approved Seasonal Development Limitation Waiver.  Geotechnical Report provided. All construction must comply with the recommendations of the Geotechnical Report. A copy of report and other geotechnical information must be kept on site at all times.	DS(
	Geotechnical Engineer Phone	
COMPLETED BY	SEASONAL DEVELOPMENT LIMITATION RESTRICTION:  Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1.  Waiver approved. Grading and excavation permitted subject to all conditions noted in Seasonal Development Limitation Waiver Permit.	LETED BY
	Permit number Approved by Date	COMP
) BE		) BE

Required Inspection(s  MPACT FEES: f applicable.		PLAN REVIEW AP Not all review disciplines m	PROVALS:	Scheduling:  w the documents.	APPROVED DRAWINGS ON THE BUILDING SITE REVIEWED FOR CODE	
Approved ADDITIONAL RE	ional fees will be required and must be approv  EQUIRED CITY INSPECTIONS:  ntact to arrange the inspection.	Start Date	End Date	ompleted.	MUST BE KEPT AT ALL TIMES COMPLIANCE	
	Final Inspection: Water supply protection, incomplete for:  • Waterfront property  • Fire / lawn sprinkler  Final Inspection: Site and utility: includes land restoration complete and as-built drawings refinal Inspection: Building, including electrical applicable, provide closeout (summary) letter Inspectors, Geotechnical Engineer, and exteriors.	• Well water on pro- • Boiler dscape, utilities and ROW. Site eady for submittal.  I / mechanical / plumbing. If rs from Engineer, Special for wall cladding inspectors (EIFS ANCY (TCO):	S).		PROJECT	PROJECT
	Final Inspection: Tree Restoration  Final Inspection: Fire protection, including (be Sprinkler  • Access Road  • Fire Code Alternatives (see below)  FCA1:	<ul> <li>Fuel Tank Installa</li> <li>Fire Extinguishing</li> <li>Fire Alarm Syster</li> <li>FCA3:</li> </ul>	g System	TT		
	Insulation installation Stucco (paper and lath) Shower pan (or tub) Miscellaneous Code Alternative CA1: Code Alternative CA2: Impact Fees Paid (If applicable)					
*	Rough plumbing installation (DWV, water) Rough mechanical Gas Piping Rough fire sprinkler / hydrostatic and flow (but framing and glazing. If applicable, provide Spelateral wood inspection, welding epoxy anchor Masonry construction (fireplace / walls / vene	ecial Inspection letter for ors, etc.				
	letter for lateral wood inspection.  Nailing-Exterior wall and Shearwall. If applical Inspection letter for lateral wood inspection.  Rough hydronic installation  Rough electric installation  Rough fire alarm (wiring inspection)					
	side sewer  Driveway / Access road  Underslab electrical / mechanical / plumbing  Underslab insulation / vapor barrier / reinford  Underfloor framing  Nailing-Roof sheathing. If applicable, provide	cing				
*	Water Screec Water Supply Water as-built drawings Side sewer installation, including (but not limited to sewer main  • Connections to existing	ited to):  • Back-flow valves • Grinder pump sy: • Sewer manholes	stems			
	<ul> <li>Connections to storm main in ROW</li> <li>Detention systems</li> <li>Infiltration systems</li> <li>Catch basins including oil-water separator tees</li> <li>Water Service</li> </ul>	Area drains     Conveyance pipir     Storm drain in RC     Control structure     Pump systems     Retaining wall drain	DW es / manholes		CERTIFIC Issued after	i.
	Foundation walls / concrete columns  Roof and footing drains  Foundation damproofing  Storm drainage, including (but not limited to)				ATE OF	<u> </u>
	Pilings / Shoring / Shotcrete. If applicable, pro (property line); Geotechnical Engineer / Specireports of inspections (pile and shoring install Footings, setbacks, UFER ground. If applicable (building height and setbacks); Special Inspection (soil bearing capacity, compaction, earthworks)	ial Inspector lation, etc.) e, provide survey letter ctor reports of inspections				
	Sewer disconnect and cap. If applicable, sepa Right-of-way use or work / easement, materia separate ROW permit required Land clearing, grading and demolition Temporary power	al delivery, etc. If applicable,			PANCY have been	
Inspector Date App	Pre-construction Meeting to Review Condition Tree protection Erosion control					PERMIT NUMBER
INSPECTIONS: (Listed in	ility to apply for and obtain all City of Mercer Is	siand permits.				2

#### **GENERAL NOTES**

- CONTACT ARCHITECT IMMEDIATELY REGARDING ANY DISCREPANCIES IN THE DRAWINGS OR SPECIFICATIONS PRIOR TO STARTING WORK
- VERIFY ALL FIELD CONDITIONS BEFORE BEGINNING CONSTRUCTION.
- VERIFY DIMENSIONS BEFORE BEGINNING CONSTRUCTION.

  PLACE OF STUDE AND FACE OF CONCEPTE
- DIMENSIONS ARE TO FACE OF STUDS AND FACE OF CONCRETE

  EXCEPT WHERE OTHERWISE NOTER
- EXCEPT WHERE OTHERWISE NOTED.
   ALL APPLICABLE CODES, ORDINANCES, AND MINIMUM
- STRUCTURAL REQUIREMENTS TAKE PRECEDENCE OVER ALL DRAWINGS, NOTES, SPECIFICATIONS, AND SIZES.
- COMPLIANCE IS REQUIRED WITH THE 2018 IBC AND/OR 2018 IRC, WSEC, AND OTHER CODES ADOPTED AS AMENDED BY CITY OF MERCER ISLAND.

#### **EXISTING HOUSE**

 WORK AT EXISTING HOUSE IS LIMITED TO STRUCTURAL ATTACHMENT OF THE ADDITION AND THE EXTENSION OF UTILITIES TO THE ADDITION.

#### DEMOLITION

 ALL MATERIALS AND DEBRIS, NOT SCHEDULED TO BE USED ON SITE ARE TO BE REMOVED FROM SITE AND RECYCLED ACCORDING TO THE SALVAGE ASSESMENT.

#### SITE WORK

- EXCAVATED MATERIALS MUST BE DISPOSED AT AN APPROVED DISPOSAL LOCATION.
- APPROVED DISPOSAL LOCATION
   DOWNSPOUTS TO BE CONNECTED TO EXISTING TIGHTLINES
- ALL STAGING OF MATERIALS MUST BE DONE FROM EXISTING
- IMPERVIOUS SURFACES
- RESTORE AND LANDSCAPE ALL PAVED AREAS SCHEDULED TO BE REMOVED AND NOT INCORPORATED IN NEW CONSTRUCTION
- CONTRACTOR MUST OBTAIN STREET USE PERMITS FROM CITY OF MERCER ISLAND OR OTHER AGENCIES AS NEEDED.
- NO EXCAVATION, FOUNDATION OR SIMILAR WORK BETWEEN
  OCT. 1 AND APR.1

#### MECHANICAL, ELECTRICAL, PLUMBING

- TRADES ARE RESPONSIBLE FOR OBTAINING PERMITS AS REQUIRED
- THESE DRAWINGS ARE "DESIGN/BUILD" FOR MECHANICAL, ELECTRICAL, AND PLUMBING TRADES. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THESE TRADES AND NOTIFYING THE ARCHITECT OF ANY CONFLICTS PRIOR TO BEGINNING THE WORK. WHEREVER POSSIBLE, FRAMING MEMBERS SHALL BE LOCATED TO ACCOMMODATE THE WORK OF THESE TRADES. IF THIS CANNOT BE DONE WITHOUT COMPROMISING THE STRUCTURAL REQUIREMENTS, NOTIFY ARCHITECT IMMEDIATELY. PARTICULAR CARE SHOULD BE TAKEN TO ALLOW FOR THE PROPER LOCATION OF RECESSED LIGHT FIXTURES AND HEAT REGISTERS. CUTTING, DRILLING, OR WHOLE CUTTING IN COMPOSITE MATERIALS (PSL, LVL, TJI, ETC.) MUST FOLLOW RECOMMENDATIONS OF MANUFACTURER. DUCTWORK SHALL NOT BE SOFFITED WITHOUT APPROVAL BY ARCHITECT.

### GENERAL VENTILATION

- PROVIDE CONTINUOUS 1" MINIMUM AIR SPACE ABOVE INSULATION FOR VENTILATION IN ALL ROOFS. USE INSULATION BAFFLES AS NECESSARY.
- PROVIDE NEW ROOF VENTING WHERE SHOWN

  FAVE DI COUNTY TO DE DRIVE DE AND CORPENSE
- EAVE BLOCKING TO BE DRILLED AND SCREENED
- PROVIDE MINIMUM OF 1 SQ. FT. VENT SPACE PER 150 SQ. FT. OF AREA TO BE VENTED AT TRUSS ROOF.
   PLACE NO LESS THAN 40% AND NO MORE THAN 50% OF VENT
- AREA IN THE UPPER 3 FT. OF THE ROOF TO BE VENTED

   PROVIDE MINIMUM OF 1 SQ. FT. VENT SPACE PER 150 SQ.FT. OF
- AREA TO BE VENTED AT CRAWLSPACE. ARRANGE VENTS FOR CROSS VENTILATION.
- PROVIDE EXHAUST FANS WHERE SHOWN ON DRAWINGS

### PLUMBING FIXTURES

LAVATORY FAUCET FLOW: 1.2 GPM MAXIMUM
 SHOWER FLOW: 1.8 GPM MAXIMUM
 WATER CLOSET (SINGLE FLUSH): 1.28 GPM MAXIMUM
 WATER CLOSET (DUAL FLUSH): 1.28 GPM AVERAGE
 INSULATE ALL HW DISTRIBUTION PIPES TO R-3 MINIMUM

## MOISTURE PROTECTION

- ALL WOOD IN CONTACT WITH CONCRETE OR THE GROUND SHALL BE PRESSURE TREATED.
- WOOD FRAMING WITH LESS THAN 1'-6" CLEARANCE AT CRAWLSPACES TO BE PRESSURE TREATED.
- CLEARANCE BETWEEN WOOD AND EARTH SHALL BE 8" MINIMUM.
- FLASH ALL OPENINGS.
- INSTALL WATERSHIELD AT ALL NEW WINDOW AND DOOR OPENINGS
- PROVIDE MINIMUM 26 GAUGE METAL FLASHING AT ALL HORIZONTAL EXTERIOR TRIM.
- CAULK ALL OPENINGS THOROUGHLY.

#### LIFE SAFETY

- PROVIDE APPROVED FIREBLOCKING AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES AROUND VENTS, DUCTS, CHIMNEYS, SOFFITS, AT 10 FOOT INTERVALS ALONG WALLS, AND OTHER LOCATIONS AS REQUIRED BY SRC 302.11,
- PROVIDE LINE VOLTAGE SMOKE AND CO DETECTORS WITH BATTERY BACKUP AS SHOWN ON PLANS OR AS REQUIRED BY CODE
- INTERCONNECT SMOKE DETECTORS
- PROVIDE NFPA 72 MONITORED CHAPTER 29 FIRE ALARM SYSTEM FOR THE ENTIRE RESIDENCE

#### **GLAZING AND DOORS**

- GLAZING WITHIN 18" OF FLOOR OR GRADE AND GREATER THAN 18" IN LEAST DIMENSION TO BE APPROVED TEMPERED GLASS
- GLAZING WITHIN 12" ADJACENT TO A DOOR: APPROVED TEMPERED GLASS
- NEW GLAZING IN BATHROOMS SHALL BE APPROVED TEMPERED
- GLAZED DOORS, GLAZED SHOWER/TUB ENCLOSURES TO BE GLAZED WITH APPROVED TEMPERED GLASS.
- ALL NEW WINDOWS AND GLAZED DOORS TO MEET MINIMUM U-VALUE OF 0.28 AS DETERMINED BY CURRENT WASHINGTON STATE ENERGY CODE STANDARDS.

### **ENERGY AND VENTILATION**

#### **ENERGY AT ADDITION** (NO WORK AT EXISTING HOUSE)

HEATING AND VENTILATION SYSTEMS AT ADDITION AND EXISTING HOUSE ARE FULLY SEPARATE. NO WORK AT EXISTING HOUSE.

- ADDITION AREA: 522 SF HEATED FLOOR AREA
- CREDITS REQUIRED: 3

0.5 CREDIT: FUEL NORMALIZATION PER TABLE R406.2 SYSTEM TYPE 4 (DUCTLESS

MINI-SPLIT)

0.5 CREDIT: EFFICIENT BUILDING ENVELOPE PER TABLE R406.3 OPTION 1.3. SEE

VALUES BELOW

2.0 CREDITS: HIGH EFFICIENCY HVAC PER TABLE

R406.3 OPTION 3.6. DUCTLESS MINI-SPLIT SYSTEM WITH NO ELECTRIC RESISTANCE HEATING IN PRIMARY LIVING AREA. HSPF 10 MIN.

INSULATION

ROOF: R-49 MINIMUM
WALLS: R-21 MINIMUM
FLOORS: R-38 MINIMUM
HEADERS: R-10
WINDOWS: U = 0.28 MAX

- INSULATE ALL HW DISTRIBUTION PIPES TO R-3 MINIMUM
- MAINTAIN REQUIRED 1" MIN. AIRSPACE AT ROOF INSULATION
- HEATING UNITS TO MAINTAIN 70 DEGREES F AT 3 FT. ABOVE FLOOR WHEN OUTSIDE TEMPERATURE IS 10 DEGREES F.

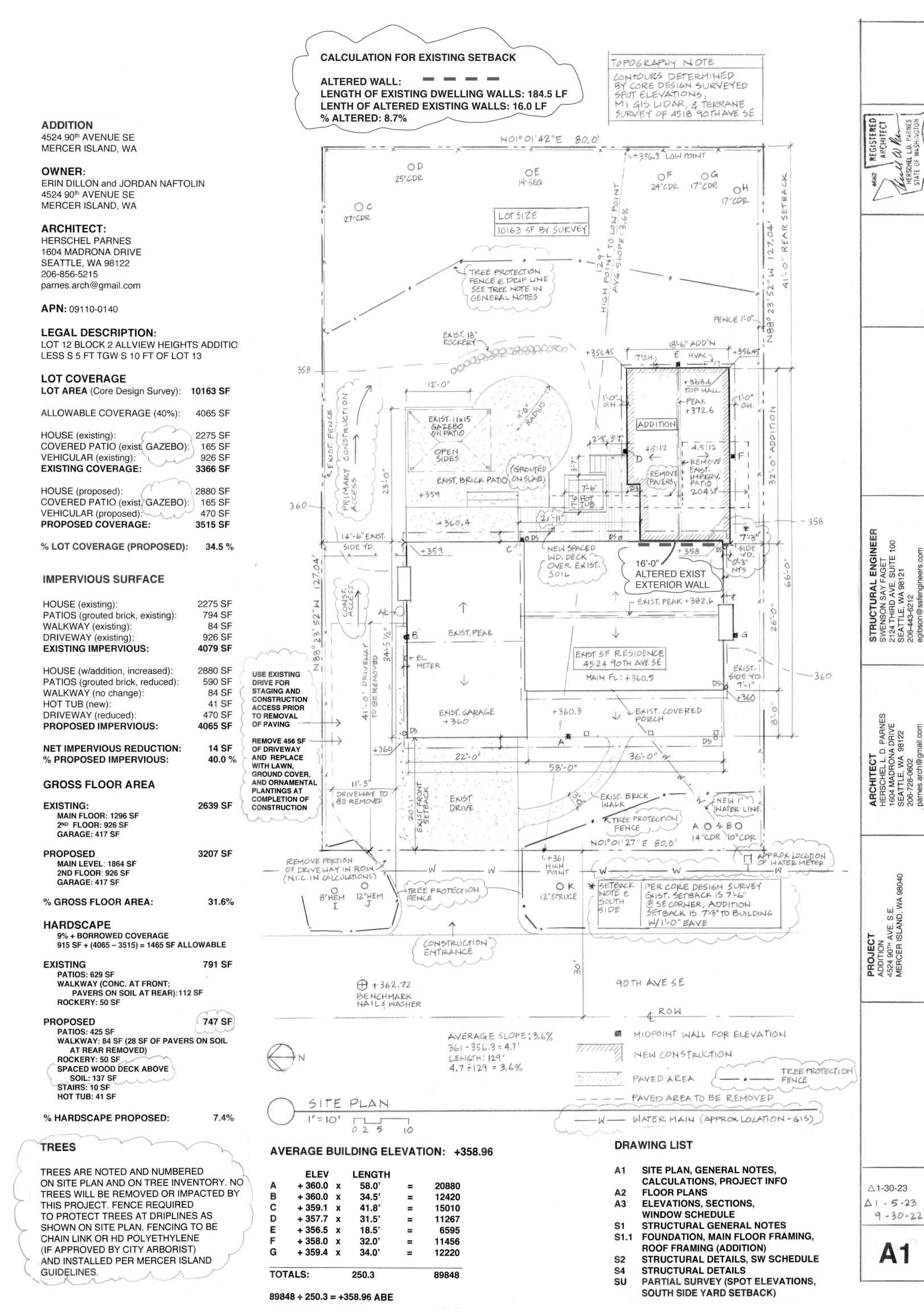
   AND ADDITION OF THE PROPERTY O
- CAULK ALL JOINTS AROUND EXTERIOR OPENINGS AND AT ANY JOINTS IN SIDING OR FLASHING WHERE AIR INFILTRATION IS POSSIBLE.
- RECESSED CAN LIGHT MUST BE IC RATED AND SEALED
- FILL VOIDS AND CRACKS AT EXTERIOR WALLS WITH CAULK, INSULATION OR FOAM.
- PROVIDE WEATHERSTRIPPING AT ALL WINDOWS

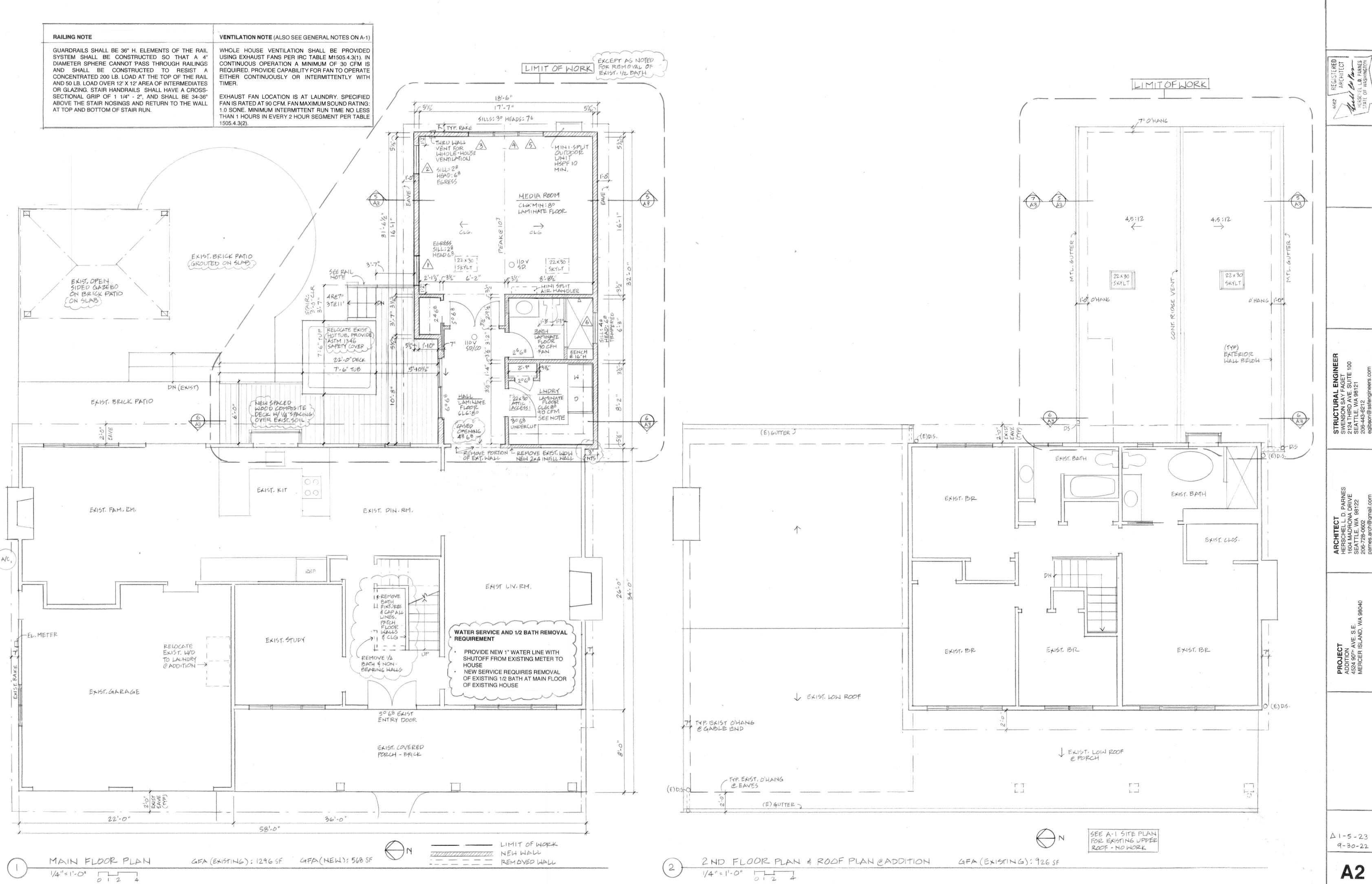
WHOLE HOUSE VENTILATION AT ADDITION (NO WORK AT EXISTING HOUSE)

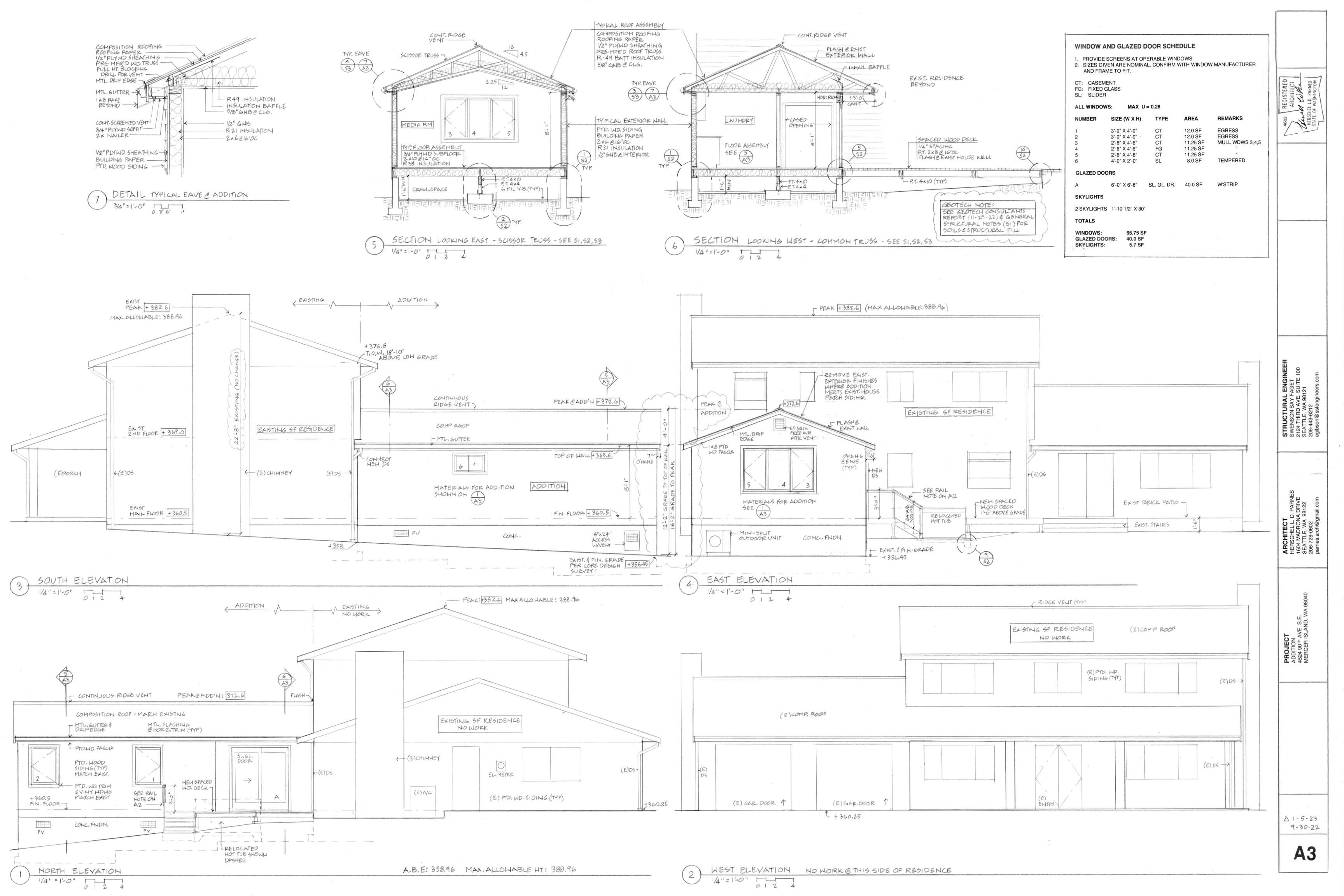
- VENTILATION, INCLUDING WHOLE HOUSE VENTILATION AND POINT OF USE EXHAUST FANS SHALL MEET THE REQUIREMENTS OF IRC M1505.
- WHOLE HOUSE VENTILATION SHALL BE PROVIDED USING EXHAUST FANS PER IRC TABLE M1505.4.3(1). IN CONTINUOUS OPERATION A MINIMUM OF 30 CFM IS REQUIRED. PROVIDE CAPABILITY FOR FAN TO OPERATE EITHER CONTINUOUSLY OR INTERMITTENTLY WITH TIMER.
- EXHAUST FAN LOCATION IS AT LAUNDRY. SPECIFIED FAN IS RATED AT 90 CFM. FAN MAXIMUM SOUND RATING: 1.0 SONE. MINIMUM INTERMITTENT RUN TIME NO LESS THAN 1 HOURS IN EVERY 2 HOUR SEGMENT PER TABLE 1505.4.3(2).
- UNDERCUT LAUNDRY DOOR MINIMUM 1" ABOVE FINISHED FLOOR.
- PROVIDE SCREENED PASSIVE FRESH AIR INLET VENT WITH BACKDRAFT DAMPER AT MEDIA ROOM. (PANASONIC FV-GKF32S1 OR EQUIVALENT ALDES AIRLET).

### STORM DRAINAGE

- NET REDUCTION OF IMPERVIOUS SURFACE OF 14 SF.
- SEE IMPERVIOUS CALCULATIONS ON A-1
   ALL STORM DRAINAGE FROM ADDITION TO BE TIED INTO EXISTING STORM DRAINAGE SYSTEM
- TIE ALL NEW DOWNSPOUTS TO EXISTING.
- NEW SPACED WOOD DECK IS LOCATED OVER EXISTING SOIL.
   1/4" SPACING BETWEEN BOARDS.







### GENERAL STRUCTURAL NOTES

#### CRITERIA

1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2018 EDITION).

#### 2. DESIGN LOADING CRITERIA:

RESIDENTIAL - ONE AND TWO-FAMILY DWELLINGS	
FLOOR LIVE LOAD	40 PSF
ROOF	
ROOF LIVE LOAD	20 PSE
SCHOOLS	
FLOOR LIVE LOAD (CLASSROOMS)	40 PSE
FLOOR LIVE LOAD (CORRIDORS ABOVE FIRST FLOOR)	80 PSF
FLOOR LIVE LOAD (LOBBIES AND FIRST-FLOOR CORRIDORS) 1	.00 PSF
FLOOR CONCENTRATED LOAD	00 LBS
MISCELLANEOUS LOADS	
DECKS	60 PSE
DEFLECTION CRITERIA	
	L/360
TOTAL LOAD DEFLECTION	L/240
TOTAL LOAD DEFLECTION	L/ 24(
ENVIRONMENTAL LOADS	
RAIN	N/HR
SNOW Ce=1.0, Is=1.0, Ct=1.1, Cs=1.0, Pg=25 PSF, Pf=25	
WIND GCpi=0.18, 100 MPH, RISK CATEGORY II, EXPOSURE	
<u> </u>	
EARTHQUAKE . ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDU	KŁ

3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.

SD1=0.60, SDC D, Ie=1.0, R=6.5 Cs=0.18

LATERAL SYSTEM: LIGHT FRAMED SHEAR WALLS, Vs = 2.1 KIPS

SITE CLASS=D (DEFAULT), Ss=1.43, Sds=1.14, S1=0.50,

- 4. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION".
- 5. DEFERRED SUBMITTALS: SHOP DRAWINGS AND CALCULATIONS OF DEFERRED SUBMITTAL COMPONENTS SHALL BE STAMPED AND SIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF WASHINGTON AND SHALL BE APPROVED BY THE COMPONENT DESIGNER PRIOR TO REVIEW BY THE ARCHITECT OR ENGINEER OF RECORD FOR GENERAL CONFORMANCE. ALL NECESSARY CONNECTIONS NOT SPECIFICALLY CALLED OUT ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS SHALL BE INCLUDED. SHOP DRAWINGS SHALL INCLUDE THE MAGNITUDE AND DIRECTION OF ALL LOADS IMPOSED ON THE BASIC STRUCTURE. DESIGN CALCULATIONS SHALL ACCOMPANY ALL DEFERRED SUBMITTALS. THE ARCHITECT OR CONTRACTOR SHALL FORWARD DEFERRED SUBMITTALS TO THE BUILDING OFFICIAL WHERE REQUIRED.

DEFERRED SUBMITTAL BUILDING COMPONENTS FOR THIS PROJECT SHALL INCLUDE:
PREFABRICATED CONNECTOR PLATE WOOD ROOF TRUSSES

#### Y CEOTECUNICAI

6. FOUNDATION NOTES: SUBGRADE PREPARATION INCLUDING DRAINAGE, EXCAVATION, COMPACTION, AND FILLING REQUIREMENTS, SHALL CONFORM STRICTLY WITH RECOMMENDATIONS GIVEN IN THE SOILS REPORT OR AS DIRECTED BY THE SOILS ENGINEER. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH OR COMPACTED STRUCTURAL FILL AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE. FOOTING DEPTHS/ELEVATIONS SHOWN ON PLANS (OR IN DETAILS) ARE MINIMUM AND FOR GUIDANCE ONLY; THE ACTUAL ELEVATIONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD WORKING WITH THE SOILS ENGINEER. BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE SOILS REPORT.

# SOILS REPORT REFERENCE: GEOTECH CONSULTANTS, JN 22396, NOV. 29TH, 2022

- 7. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.
- 8. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DETERMINED DURING WORK VARY FROM THE EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS.
- 9. CONTRACTOR SHALL CHECK FOR DRY ROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

### CONCRETE

- 10. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'c = 3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. REQUIRED CONCRETE STRENGTH IS BASED ON THE DURABILITY REQUIREMENTS OF SECTION 1904 OF THE IBC. DESIGN STRENGTH IS f'c = 2,500
- 11. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-14, TABLE 19.3.2.1 MODERATE EXPOSURE, F1.
- 12. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, FY = 60,000 PSI.
- 13. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315R-18 AND 318-14. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318-14, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

14. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

 15. CONCRETE WALL REINFORCING--PROVIDE THE FOLLOWING UNLESS DETAILED OTHERWISE:

6" WALLS #4 @ 16 HORIZ. #4 @ 18 VERTICAL 1 CURTAIN 8" WALLS #4 @ 12 HORIZ. #4 @ 18 VERTICAL 1 CURTAIN 10" WALLS #4 @ 18 HORIZ. #4 @ 18 VERTICAL 2 CURTAINS 12" WALLS #4 @ 16 HORIZ. #4 @ 18 VERTICAL 2 CURTAINS

16. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND

#### ANCHORAGE

- 17. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "SET-XP" HIGH STRENGTH EPOXY AS MANUFACTURED BY THE SIMPSON STRONG, TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2508. MINIMUM BASE MATERIAL TEMPERATURE IS 50 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.
- 18. CONCRETE SCREW ANCHORS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "TITEN HD" HEAVY DUTY SCREW ANCHOR AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2713 (CONCRETE), NO. ESR-1056 (CMU), INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SCREW ANCHORS INTO CONCRETE MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SPECIAL INSPECTION IS REQUIRED.

#### WOO

19. FRAMING LUMBER SHALL BE S-DRY, KD, OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD No. 17, GRADING RULES FOR WEST COAST LUMBER, 2018, OR WWPA STANDARD, WESTERN LUMBER GRADING RULES 2017. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

FURNISH 10	THE FOLLOWING MINIMUM STA	NDARDS:
JOISTS AND BEAMS	(2X & 3X MEMBERS)	HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI
	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1000 PSI
BEAMS	(INCL. 6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1350 PSI
POSTS	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI
	(6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI
STUDS, PLAT	ES & MISC. FRAMING:	DOUGLAS FIR-LARCH NO. 2

20. PREFABRICATED CONNECTOR PLATE WOOD ROOF TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH THE "NATIONAL DESIGN STANDARD FOR METAL PLATE-CONNECTED WOOD TRUSS CONSTRUCTION, ANSI/TPI 1" BY THE TRUSS PLATE INSTITUTE FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS. LOADING SHALL BE AS FOLLOWS:

OR HEM-FIR NO. 2

TOP CHORD LIVE LOAD	25	PS!
TOP CHORD DEAD LOAD	10	PS1
BOTTOM CHORD DEAD LOAD	5	PS
TOTAL LOAD	40	PS
WIND UPLIFT (TOP CHORD)	5	PS
BOTTOM CHORD LIVE LOAD	10	PS
(BOTTOM CHORD LIVE LOAD DOES NOT AC	CT	
CONCURRENTLY WITH THE ROOF LIVE LOA	AD)	

WOOD TRUSSES SHALL UTILIZE APPROVED CONNECTOR PLATES (GANGNAIL OR EQUAL). SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. SUBMITTED DOCUMENTS SHALL BE SIGNED AND STAMPED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON. PROVIDE FOR SHAPES, BEARING POINTS, INTERSECTIONS, HIPS, VALLEYS, ETC., SHOWN ON THE DRAWINGS. EXACT COMPOSITION OF SPECIAL HIP, VALLEY, AND INTERSECTION AREAS (USE OF GIRDER TRUSSES, JACK TRUSSES, STEP-DOWN TRUSSES, ETC.) SHALL BE DETERMINED BY THE MANUFACTURER UNLESS SPECIFICALLY INDICATED ON THE PLANS. PROVIDE ALL TRUSS TO TRUSS AND TRUSS TO GIRDER TRUSS CONNECTION DETAILS AND REQUIRED CONNECTION MATERIALS. PROVIDE FOR ALL TEMPORARY AND PERMANENT TRUSS BRACING AND BRIDGING.

21. PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1 OR PS 2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16.

FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

- 22. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.
- 23. PRESERVATIVE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD U1 TO THE USE CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO AWPA UC3B. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO AWPA UC4A. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO AWPA UC4B.

24. FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE

WOOD TREATMENT HAS NO AMMONIA CARRIER CONTAINS AMMONIA CARRIER	CONDITION INTERIOR DRY INTERIOR DRY	PROTECTION G90 GALVANIZED G185 OR A185 HOT DIPPED OR CONTINUOUS HOT-GALVANIZED
		PER ASTM A653
CONTAINS AMMONIA CARRIER	INTERIOR WET	TYPE 304 OR 316 STAINLESS
CONTAINS AMMONIA CARRIER	EXTERIOR	TYPE 304 OR 316 STAINLESS
AZCA	ANY	TYPE 304 OR 316 STAINLESS

INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19%. WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19%. CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL. COMPLY WITH THE TREATMENT MANUFACTURERS RECOMMENDATIONS FOR PROTECTION OF METAL.

25. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2019. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER FOR MAXIMUM LOAD CARRYING CAPACITY. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS

### 26. WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
6d	2"	0.113"
8d	2-1/2"	0.131"
10d	3"	0.148"
12d	3-1/4"	0.148"
16d BOX	3-1/2"	0.135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

### 27. NOTCHES AND HOLES IN WOOD FRAMING:

- A. NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN SOLID SAWN JOISTS AND RAFTERS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST, AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.
- B. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8 INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.
- C. NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WEB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE NOTED.
- 28. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:
- A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AWC "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.
- B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C.. LAP TOP PLATES AT JOINTS A MINIMUM 4'-0" AND NAIL WITH TWELVE 16d NAILS @ 4" O.C. EACH SIDE JOINT.

O" AND NAIL WITH TWELVE 16d NAILS @ 4" O.C. EACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-O" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES) AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING BETWEEN RAFTERS AND JOISTS AT ALL BEARING POINTS WITH A MINIMUM OF (3) 16d TOE NAILS EACH END. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

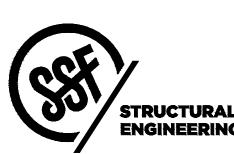
UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER, MINIMUM TWO NAILS PER BLOCK, UNLESS OTHERWISE NOTED.

### Plan Notes - Framing Plans

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- 2. ROOF SHEATHING SHALL BE 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING AT ALL FRAMED PANEL EDGES WITH 8D AT 6"O.C. AND TO ALL INTERMEDIATE FRAMING AT 12" O.C.
- 3. HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE 4X8 MINIMUM. PROVIDE (2) TRIMMER STUDS (MINIMUM) AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE ON PLANS. SEE DETAIL 5/S3 FOR TYPICAL INSTALLATION.
- 4. PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
- 5. W # INDICATES SHEAR WALL. SEE SHEARWALL SCHEDULE FOR CONSTRUCTION REQUIREMENTS.
- 6. ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE ON PLANS.
- 7. PROVIDE H1 HURRICANE TIE AT EACH TRUSS/RAFTER WHERE IT BEARS ON EXTERIOR WALL.
- 8. FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVE A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24). GLUE AND NAIL AT ALL FRAMED PANEL EDGES WITH 8D AT 6" O.C. AND TO ALL INTERMEDIATE FRAMING AT 12" O.C.

# Plan Notes - Foundation

- 1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- 2. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
- 3. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
- 4. STEP FOOTINGS AS REQUIRED TO ACCOMMODATE CHANGES IN GRADE
- 5. PROVIDE CORNER BARS PER GEN. NOTE #13 AT ALL WALL AND FOOTING INTERSECTIONS.
- 6. ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.



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DRAWN: EBG

DESIGN: EBG

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APPROVED: EBG

PERMIT REV. 1 1/4/2023

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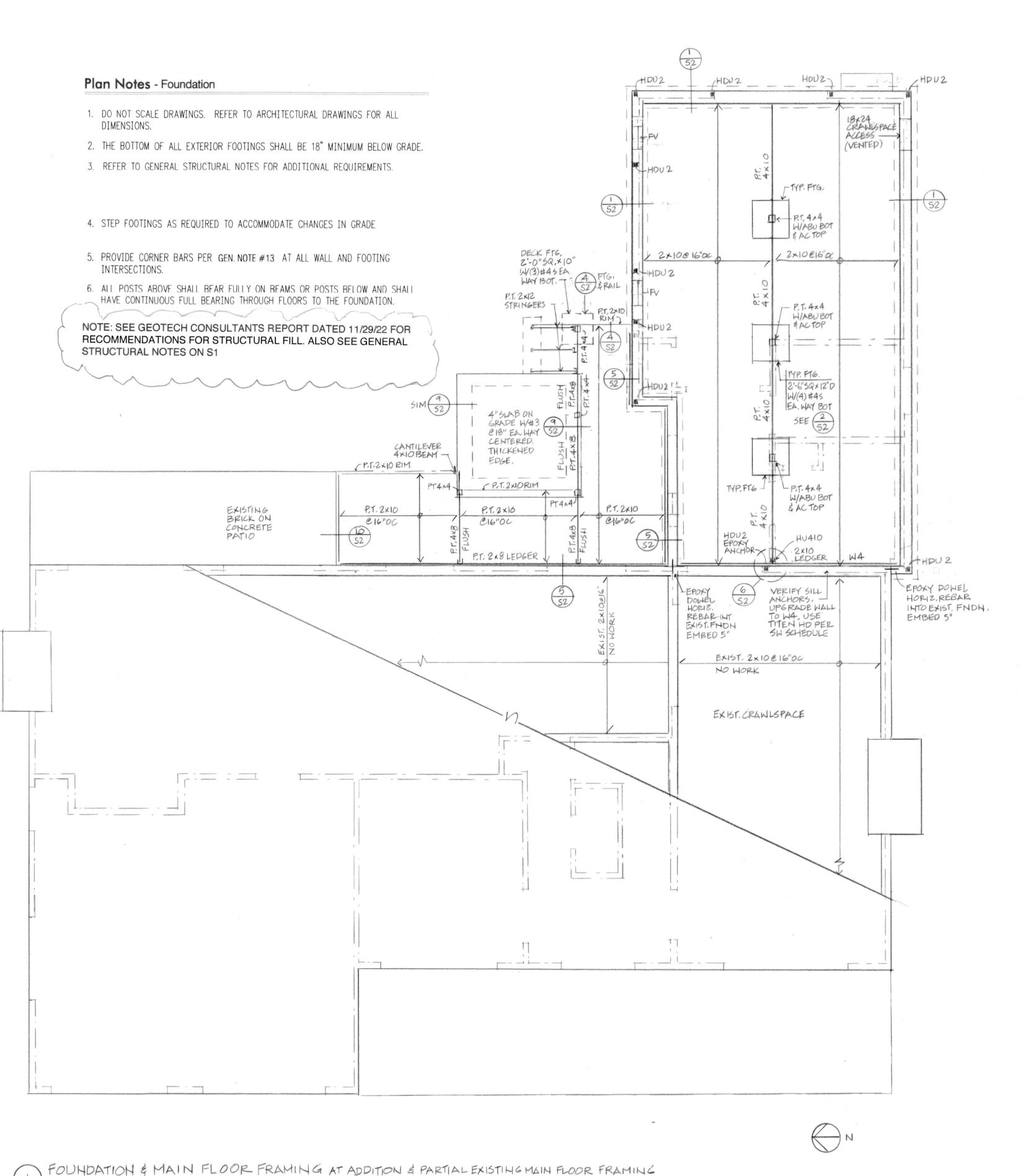
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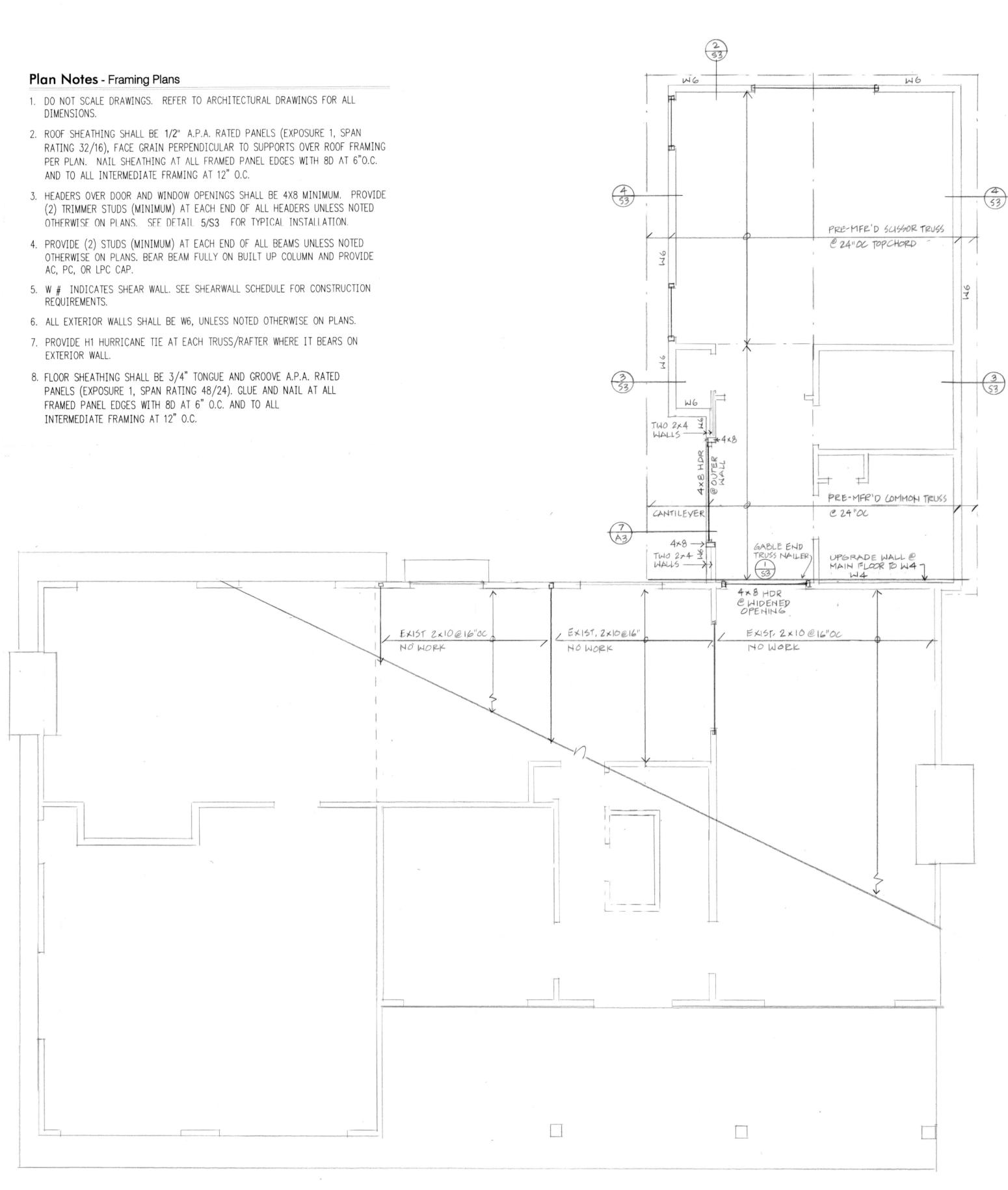
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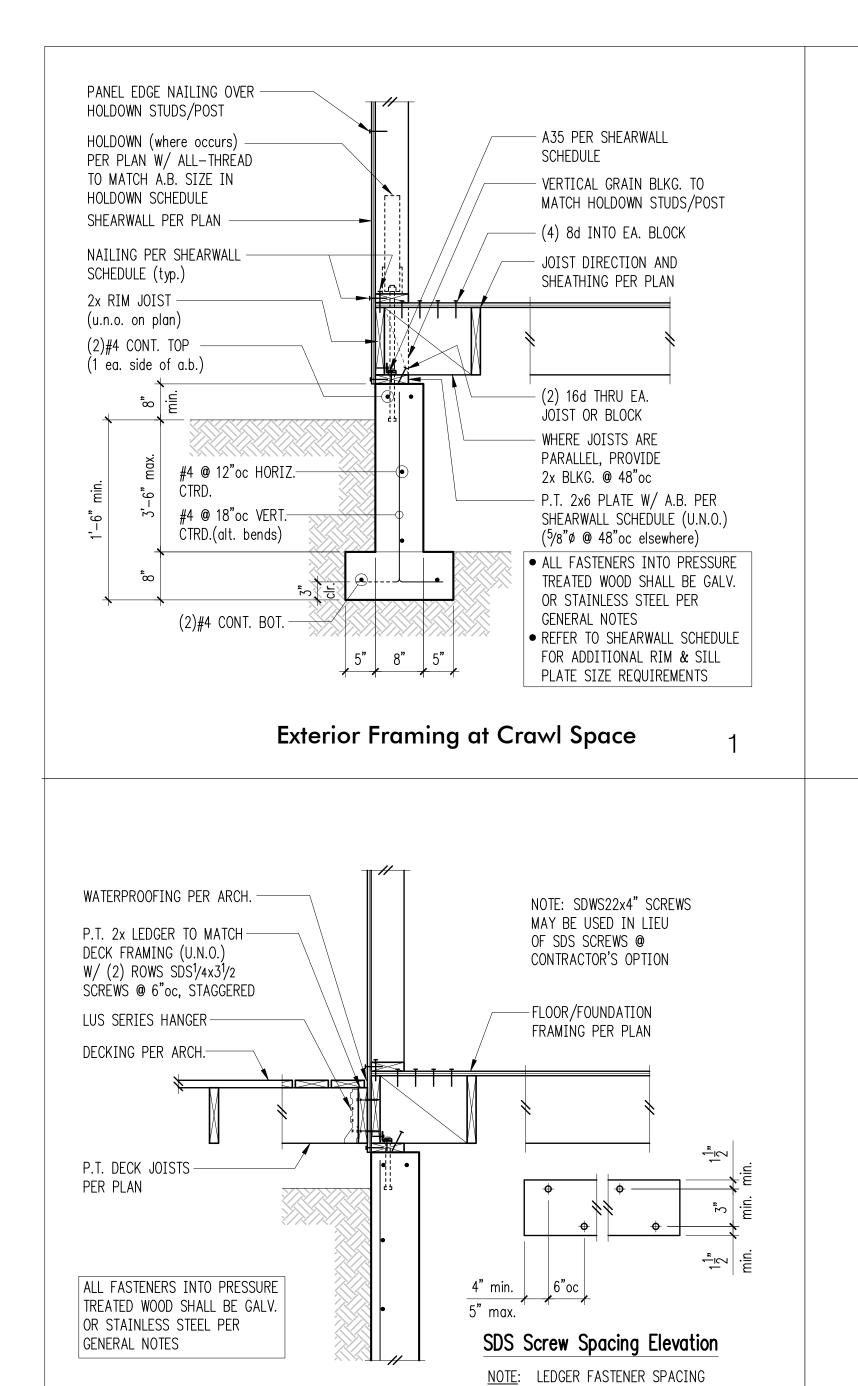
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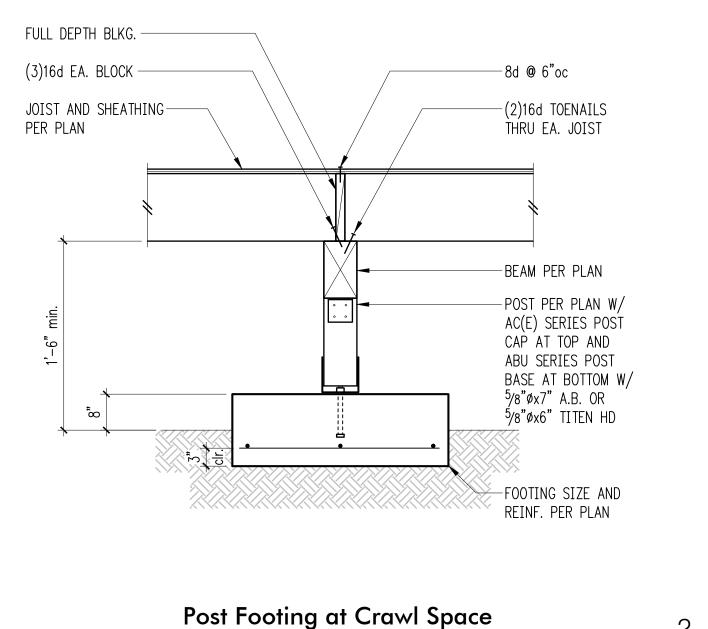


2 ROOF FRAMING AT ADDITION & PARTIAL EXISTING 2ND FLOOR FRAMING

Δ1-5-23 9-30-22

S1.





FACE OF CONCRETE/CMU WALL

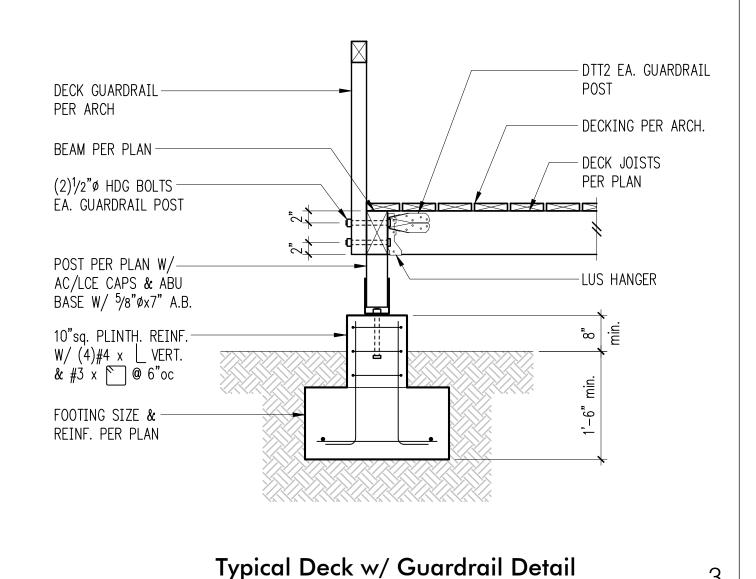
BEAM PER PLAN-

HU/HUC HANGER W/

TITEN  $\frac{1}{4}$ "x2 $\frac{3}{4}$ "

SCREWS (1<sup>1</sup>/2" MIN

EDGE DISTANCE)



ADDITIONAL

16d NAILING

EDGE NAILING -

PER SCHEDULE

OVER EA. STUD

16d NAILING — -

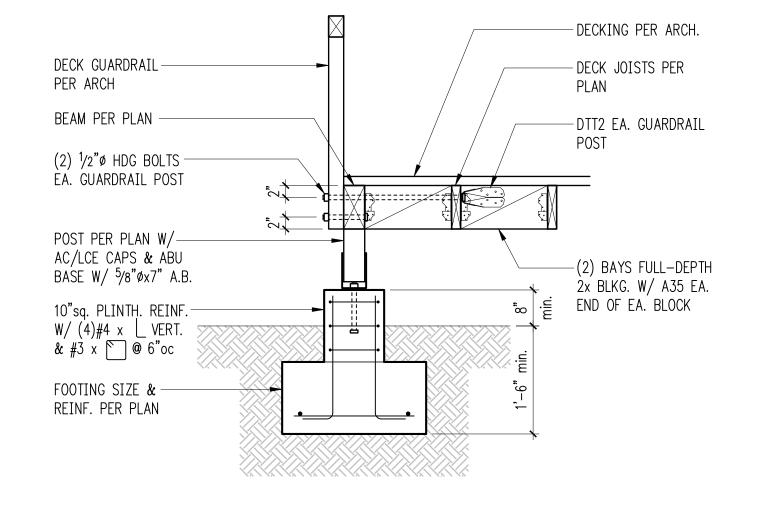
Detail B

PLAN VIEW AT ABUTTING PANEL

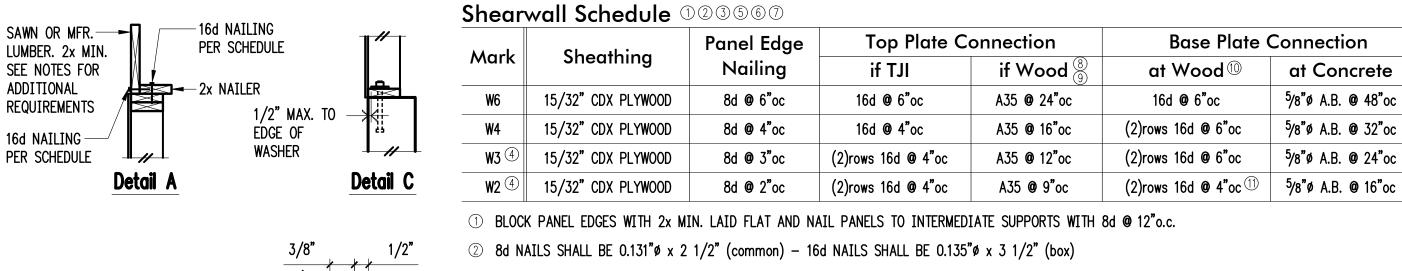
EDGES OF W3 & W2

T.O.W

6



Typical Deck w/ Guardrail Detail



- ③ EMBED ANCHOR BOLTS AT LEAST 7". DRILLED AND EPOXIED THREADED ROD MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 6" EMBEDMENT. TITEN HD SCREW ANCHORS MAY BE SUBSTITUTED FOR ANCHOR BOLTS W/ 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/4" MIN. PLATE WASHERS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING. SEE DETAIL C.
- ④ 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES.
- ⑤ TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING. SEE PLANS AND HOLDOWN SCHEDULE FOR ALTERNATE REQUIREMENTS.
- ⑥ ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.
- 7/16" O.S.B. MAY BE SUBSTITUTED FOR 15/32" CDX.
- ® LTP4's (HORIZONTAL ORIENTATION) W/ 8d COMMON MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
- 1 at multi-row nailing, minimum offset between rows and row spacing 1/2", see detail d.
- ① PROVIDE (3) ROWS 16d @ 6"oc AT LVL RIMS.

Shearwall Schedule -	(Sheathed	One	Side
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PROJECT TITLE:
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STRUCTURAL

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DESIGN:

CHECKED:

REVISIONS:

APPROVED: EBG

P.T. 2x LEDGER TO MATCH  DECK FRAMING (U.N.O.) W/  (2) ROWS 1/2" x 6" TITEN HD  @ 16"oc STAGGERED
LUS SERIES HANGER (E) CONC PATIO
DECKING PER ARCH.
P.T. DECK JOISTS  PER PLAN
ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE GALV. OR STAINLESS STEEL PER  4" min. 16"oc
GENERAL NOTES  5" max. 1 typ.  Ledger Bolt Spacing Elevation
NOTE: LEDGER FASTENER SPACING

Deck Ledger Detail

Typical Deck Ledger Detail

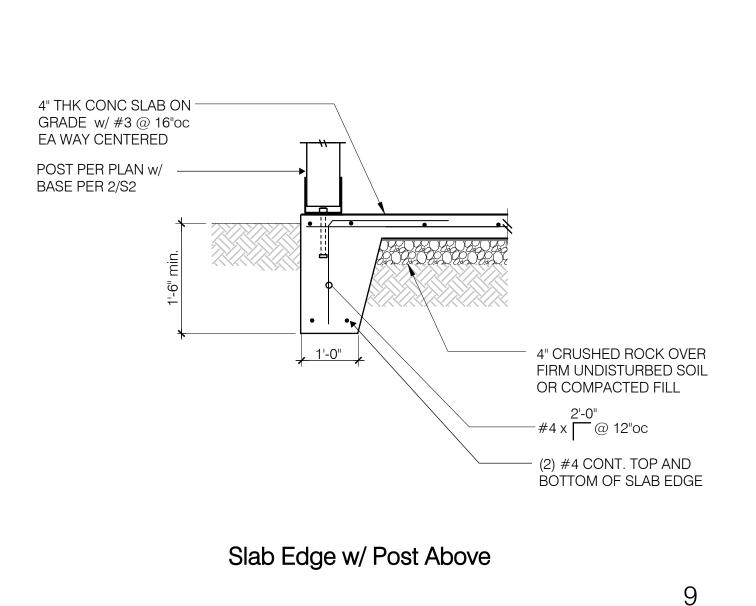
MAY BE OFFSET UP TO 3" TO AVOID

MAY BE OFFSET UP TO 3" TO AVOID INTERFERENCE W/ JOIST HANGER

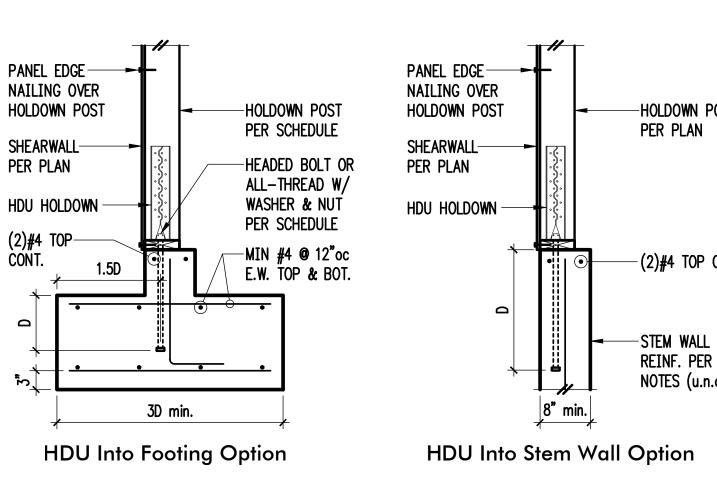
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INTERFERENCE W/ JOIST HANGER



**HU Beam Connection to Concrete Wall** 



Detail D

- PLYWOOD

EDGE

(

Holdown Schedule							
Plan Mark	Screws	Anchor Bolt	Min. A.B. Embed (D)		Holdown Post ①		
			Stem Wall	Footing	if 2x4	if 2x6	
HDU2-SDS2.5	(6)SDS <sup>1</sup> /4"x2 <sup>1</sup> /2"	<sup>5</sup> /8"ø	12"	4"	(2) 2x4	(2) 2x6	
HDU4-SDS2.5	(10)SDS <sup>1</sup> /4"x2 <sup>1</sup> /2"	<sup>5</sup> /8"ø	18"	6"	4x4	4x6	
HDU5-SDS2.5	(14)SDS <sup>1</sup> /4"x2 <sup>1</sup> /2"	<sup>5</sup> /8 <b>"</b> ø	SB <sup>5</sup> /8x24	7"	4x4	4x6	
HDU8-SDS2.5	(20)SDS <sup>1</sup> /4"x2 <sup>1</sup> /2"	<sup>7</sup> /8"ø	SSTB28	8"	4x6	6x6	
HDU11-SDS2.5	(30)SDS <sup>1</sup> /4"x2 <sup>1</sup> /2"	1 <b>"</b> ø	SB1x30	10"	4x8	6x6	
HDU14-SDS2.5	(36)SDS <sup>1</sup> /4"x2 <sup>1</sup> /2"	1 <b>"</b> ø	N/A	12"	4x8	6x6	

MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.

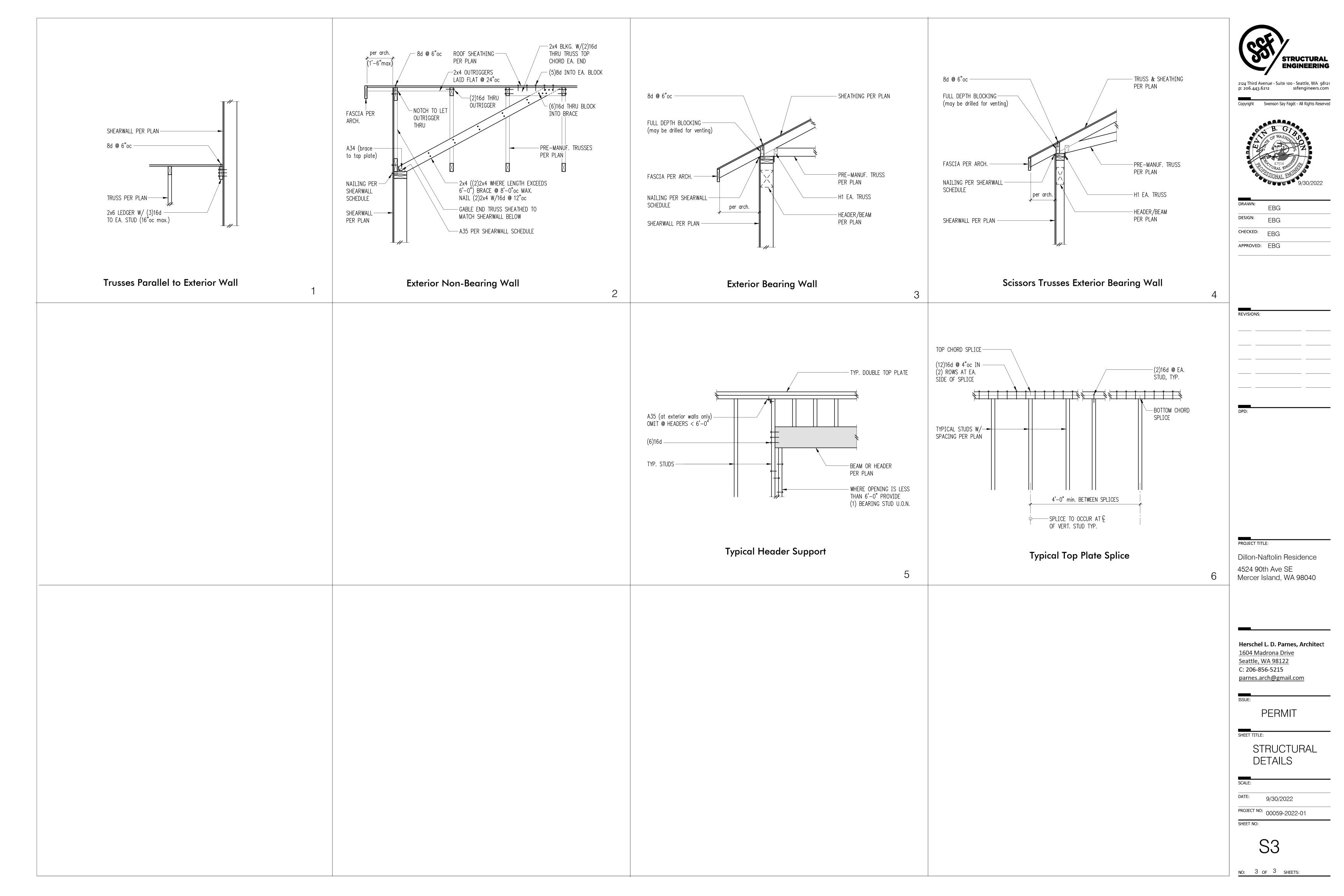
Typical HDU Holdown Detail and Schedule

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_	
_	ISSUE:
_	PERMIT
_	SHEET TITLE:

TE:	9/30/2022
DJECT NO:	00059-2022-01

00059-2022-0 SHEET NO:

NO: 2 OF 3 SHEETS:





PROJECT NUMBER *22107*