

CITY OF MERCER ISLAND

DEVELOPMENT SERVICES GROUP

9611 SE 36TH STREET | MERCER ISLAND, WA 98040
PHONE: 206.275.7605 | www.mercergov.org



INSPECTION REQUESTS:

online:



voicemail: (206) 275-7730

NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO PUBLIC DISCLOSURE AS REQUIRED BY RCW 42.56

CONTACT INFORMATION:

Applicant is to complete the following information.

Applicant Contact information prior to permit issuance: Name, Address, Phone, Email
Applicant Contact information post permit issuance: Name, Address, Phone, Email

REQUIRED SPECIAL INSPECTIONS / STRUCTURAL OBSERVATIONS:

It is the Engineer of Record's responsibility to specify all required Special Inspections or Structural Observation (check items below). The owner is responsible for hiring an approved private Special Inspector for the checked inspections noted below.

STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EOR): Engineer of Record, Company, Phone, General Conformance to Construction Documents, Other

SOILS / GEOTECHNICAL: Special Inspector, Company, Phone, Erosion control measures, Shoring installation and monitoring, Observe and monitor excavation, Verification of soil bearing, Other

REINFORCED CONCRETE: Special Inspector, Company, Phone, Concrete strength, Reinforcing steel and concrete placement, Shotcrete placement, Other

STRUCTURAL STEEL: Special Inspector, Company, Phone, Fabrication and shop welds, Structural steel erection, field welds and bolting, Other

STRUCTURAL MASONRY: Special Inspector, Company, Phone, Mortar strength, Masonry unit strength, Other

WOOD: Special Inspector / Engineer of Record, Company, Phone, Lateral resisting system construction, High strength diaphragm construction, Other

OTHER SPECIAL INSPECTIONS: Special Inspector, Company, Phone, Epoxy grout installations, Expansion anchor installations, Other post installed anchors, Alternative construction methods, Alternative construction materials, Other

DEFERRED SUBMITTALS:

The Applicant is required to select all deferred submittals / shop drawings for submittal to the City for review and approval prior to item fabrication / construction.

Connector plate wood trusses, Metal joist / metal trusses, Premanufactured structures (stairs, etc.), Precast concrete elements, Other, Post tension layout, Exterior cladding, Window wall / curtain wall construction, Other

ENERGY CODE COMPLIANCE INFORMATION:

Indicate where the following information is located in the drawing set. Alternatively, incorporate or include the Residential Energy Code Prescriptive Compliance (RECPC) Form into the drawing set.

Building envelope, Whole house ventilation, Energy Credit Information, RECPC Form Information, Air Leakage Testing, Duct Leakage Testing, Postconstruction Test, Rough-in Test

TO BE COMPLETED BY DSG

PROJECT ALERTS: Construction of the project shall be from approved plans only. No deviation from the approved project plans is allowed without prior approval from the City of Mercer Island. Approved plans must be kept on site and maintained in good condition.

TREE PROTECTION REQUIREMENTS: Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project.

FIRE PROTECTION REQUIREMENTS: Separate Permits are required for ALL fire protection systems. Fire Sprinkler, Monitored Household Fire Alarm per NFPA 72, Monitored Sprinkler, Water Flow Alarm, Other

WATER SUPPLY REQUIREMENTS: Fire sprinkler design calculations must be provided prior to determining water supply system requirements. Water Supply system upgrade required, City Installation, Applicant Installation, Required Service Line Size, Required Supply Line Size, Required Meter Size

DRAINAGE REQUIREMENTS: On site detention system required, On site infiltration system required, As-built Utility drawings required, Full Size drawings required, Direct discharge into the lake, No Storm Water permit required, Connection to public storm drainage conveyance system req'd, Other

SIDE SEWER REQUIREMENTS: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is lower than the elevation of the upstream manhole rim or when side sewer is shared with one or more properties. Video tape of existing sewer required (see standard details), New connection, Connect to existing, Disconnect permit required, Reconnect permit required, Other

APPROVED CODE ALTERNATIVES: Code alternatives must be inspected. Refer to the Inspection Checklist. CA1, CA2

SURVEY REQUIREMENTS (The following survey information must be submitted when checked): Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation inspection. A property survey may be required to verify setbacks and in some cases buildings must be surveyed onto the lot. The City reserves the right to request an impervious area survey at any time prior to issuance of Certificate of Occupancy.

MAXIMUM 40 PERCENT ALTERATION INSPECTION: A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than 40 percent of the dwelling's exterior walls are structurally altered. Contact the Building Inspector at (206) 275-7730. Civil / Drainage, LUP / Setback requirements

GEOTECHNICAL INFORMATION: Land clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1 without an approved Seasonal Development Limitation Waiver.

Geotechnical Report provided. All construction must comply with the recommendations of the Geotechnical Report. A copy of report and other geotechnical information must be kept on site at all times.

SEASONAL DEVELOPMENT LIMITATION RESTRICTION: Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1. Waiver approved. Grading and excavation permitted subject to all conditions noted in Seasonal Development Limitation Waiver Permit.

Permit number, Approved by, Date

TO BE COMPLETED BY DSG

TO BE COMPLETED BY DSG

REQUIRED CONSTRUCTION INSPECTIONS: It is the applicant's responsibility to contact DSG to schedule ALL inspections appropriate for the project. Request inspections online at www.MyBuildingPermit.com or by calling the Inspection Hotline at (206) 275-7730. Allow at least 24 hours (48 hours for Reinforcing steel) in advance of desired inspection. Be specific as to type of inspection.

TO BE COMPLETED BY DSG

Final Inspection: Tree Restoration, Final Inspection: Fire protection, including (but not limited to): Sprinkler, Access Road, Fire Code Alternatives (see below), FCA1, FCA2, FCA3, FCA4, Final Inspection: Water supply protection, including (but not limited to): backflow devices for: Waterfront property, Well water on property, Fire / lawn sprinkler, Boiler, Final Inspection: Site and utility: includes landscape, utilities and ROW. Site restoration complete and as-built drawings ready for submittal. Final Inspection: Building, including electrical / mechanical / plumbing. If applicable, provide closeout (summary) letters from Engineer, Special Inspectors, Geotechnical Engineer, and exterior wall cladding inspectors (EIFS).

90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY (TCO): Applicant option. Additional fees will be required and must be approved prior to occupancy. TCO requires tree plantings be completed.

Approved, Start Date, End Date

ADDITIONAL REQUIRED CITY INSPECTIONS: Call the appropriate contact to arrange the inspection. Required Inspection(s), Contact, Phone, Scheduling

IMPACT FEES: If applicable. Impact fees apply and are due prior to Final Inspection or on Date, whichever occurs first. PLAN REVIEW APPROVALS: Not all review disciplines may be required to review the documents. Building, Planning, Engineering, Tree, Fire

Approved, Date

TO BE COMPLETED BY DSG

TO BE COMPLETED BY APPLICANT

TO BE COMPLETED BY APPLICANT



CERTIFICATE OF OCCUPANCY Issued after all required inspections have been performed and approved.

PROJECT NAME: PROJECT ADDRESS:

APPROVED DRAWINGS MUST BE KEPT ON THE BUILDING SITE AT ALL TIMES REVIEWED FOR CODE COMPLIANCE

PERMIT NUMBER

Date

Approved

Date

Approved

GENERAL NOTES

- CONTACT ARCHITECT IMMEDIATELY REGARDING ANY DISCREPANCIES IN THE DRAWINGS OR SPECIFICATIONS PRIOR TO STARTING WORK
- VERIFY ALL FIELD CONDITIONS BEFORE BEGINNING CONSTRUCTION.
- VERIFY DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
- DIMENSIONS ARE TO FACE OF STUDS AND FACE OF CONCRETE, EXCEPT WHERE OTHERWISE NOTED.
- ALL APPLICABLE CODES, ORDINANCES, AND MINIMUM STRUCTURAL REQUIREMENTS TAKE PRECEDENCE OVER ALL DRAWINGS, NOTES, SPECIFICATIONS, AND SIZES.
- COMPLIANCE IS REQUIRED WITH THE 2018 IBC AND/OR 2018 IRC, WSEC, AND OTHER CODES ADOPTED AS AMENDED BY CITY OF MERCER ISLAND.

EXISTING HOUSE

- WORK AT EXISTING HOUSE IS LIMITED TO STRUCTURAL ATTACHMENT OF THE ADDITION AND THE EXTENSION OF UTILITIES TO THE ADDITION.

DEMOLITION

- ALL MATERIALS AND DEBRIS, NOT SCHEDULED TO BE USED ON SITE ARE TO BE REMOVED FROM SITE AND RECYCLED ACCORDING TO THE SALVAGE ASSESSMENT.

SITE WORK

- EXCAVATED MATERIALS MUST BE DISPOSED AT AN APPROVED DISPOSAL LOCATION
- DOWNSPOUTS TO BE CONNECTED TO EXISTING TIGHTLINES
- ALL STAGING OF MATERIALS MUST BE DONE FROM EXISTING IMPERVIOUS SURFACES
- RESTORE AND LANDSCAPE ALL PAVED AREAS SCHEDULED TO BE REMOVED AND NOT INCORPORATED IN NEW CONSTRUCTION
- CONTRACTOR MUST OBTAIN STREET USE PERMITS FROM CITY OF MERCER ISLAND OR OTHER AGENCIES AS NEEDED
- NO EXCAVATION, FOUNDATION OR SIMILAR WORK BETWEEN OCT. 1 AND APR. 1

MECHANICAL, ELECTRICAL, PLUMBING

- TRADES ARE RESPONSIBLE FOR OBTAINING PERMITS AS REQUIRED
- THESE DRAWINGS ARE "DESIGN/BUILD" FOR MECHANICAL, ELECTRICAL, AND PLUMBING TRADES. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THESE TRADES AND NOTIFYING THE ARCHITECT OF ANY CONFLICTS PRIOR TO BEGINNING THE WORK. WHEREVER POSSIBLE, FRAMING MEMBERS SHALL BE LOCATED TO ACCOMMODATE THE WORK OF THESE TRADES. IF THIS CANNOT BE DONE WITHOUT COMPROMISING THE STRUCTURAL REQUIREMENTS, NOTIFY ARCHITECT IMMEDIATELY. PARTICULAR CARE SHOULD BE TAKEN TO ALLOW FOR THE PROPER LOCATION OF RECESSED LIGHT FIXTURES AND HEAT REGISTERS. CUTTING, DRILLING, OR WHOLE CUTTING IN COMPOSITE MATERIALS (PSL, LVL, TJI, ETC.) MUST FOLLOW RECOMMENDATIONS OF MANUFACTURER. DUCTWORK SHALL NOT BE SOFFITED WITHOUT APPROVAL BY ARCHITECT.

GENERAL VENTILATION

- PROVIDE CONTINUOUS 1" MINIMUM AIR SPACE ABOVE INSULATION FOR VENTILATION IN ALL ROOFS. USE INSULATION BAFFLES AS NECESSARY.
- PROVIDE NEW ROOF VENTING WHERE SHOWN
- EAVE BLOCKING TO BE DRILLED AND SCREENED
- PROVIDE MINIMUM OF 1 SQ. FT. VENT SPACE PER 150 SQ. FT. OF AREA TO BE VENTED AT TRUSS ROOF. PLACE NO LESS THAN 40% AND NO MORE THAN 50% OF VENT AREA IN THE UPPER 3 FT. OF THE ROOF TO BE VENTED
- PROVIDE MINIMUM OF 1 SQ. FT. VENT SPACE PER 150 SQ. FT. OF AREA TO BE VENTED AT CRAWLSPACE. ARRANGE VENTS FOR CROSS VENTILATION.
- PROVIDE EXHAUST FANS WHERE SHOWN ON DRAWINGS

PLUMBING FIXTURES

- LAVATORY FAUCET FLOW: 1.2 GPM MAXIMUM
- SHOWER FLOW: 1.8 GPM MAXIMUM
- WATER CLOSET (SINGLE FLUSH): 1.28 GPM MAXIMUM
- WATER CLOSET (DUAL FLUSH): 1.28 GPM AVERAGE
- INSULATE ALL HW DISTRIBUTION PIPES TO R-3 MINIMUM

MOISTURE PROTECTION

- ALL WOOD IN CONTACT WITH CONCRETE OR THE GROUND SHALL BE PRESSURE TREATED.
- WOOD FRAMING WITH LESS THAN 1'-6" CLEARANCE AT CRAWLSPACES TO BE PRESSURE TREATED.
- CLEARANCE BETWEEN WOOD AND EARTH SHALL BE 8" MINIMUM.
- FLASH ALL OPENINGS.
- INSTALL WATERSHIELD AT ALL NEW WINDOW AND DOOR OPENINGS
- PROVIDE MINIMUM 26 GAUGE METAL FLASHING AT ALL HORIZONTAL EXTERIOR TRIM.
- CAULK ALL OPENINGS THOROUGHLY.

LIFE SAFETY

- PROVIDE APPROVED FIREBLOCKING AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES AROUND VENTS, DUCTS, CHIMNEYS, SOFFITS, AT 10 FOOT INTERVALS ALONG WALLS, AND OTHER LOCATIONS AS REQUIRED BY SRC 302.11.
- PROVIDE LINE VOLTAGE SMOKE AND CO DETECTORS WITH BATTERY BACKUP AS SHOWN ON PLANS OR AS REQUIRED BY CODE.
- INTERCONNECT SMOKE DETECTORS
- PROVIDE NFPA 72 MONITORED CHAPTER 29 FIRE ALARM SYSTEM FOR THE ENTIRE RESIDENCE

GLAZING AND DOORS

- GLAZING WITHIN 18" OF FLOOR OR GRADE AND GREATER THAN 18" IN LEAST DIMENSION TO BE APPROVED TEMPERED GLASS
- GLAZING WITHIN 12" ADJACENT TO A DOOR: APPROVED TEMPERED GLASS
- NEW GLAZING IN BATHROOMS SHALL BE APPROVED TEMPERED GLASS.
- GLAZED DOORS, GLAZED SHOWER/TUB ENCLOSURES TO BE GLAZED WITH APPROVED TEMPERED GLASS.
- ALL NEW WINDOWS AND GLAZED DOORS TO MEET MINIMUM U-VALUE OF 0.28 AS DETERMINED BY CURRENT WASHINGTON STATE ENERGY CODE STANDARDS.

ENERGY AND VENTILATION

ENERGY AT ADDITION (NO WORK AT EXISTING HOUSE)

HEATING AND VENTILATION SYSTEMS AT ADDITION AND EXISTING HOUSE ARE FULLY SEPARATE. NO WORK AT EXISTING HOUSE.

- ADDITION AREA: 522 SF HEATED FLOOR AREA**
- CREDITS REQUIRED: 3**

- 0.5 CREDIT:** FUEL NORMALIZATION PER TABLE R406.2 SYSTEM TYPE 4 (DUCTLESS MINI-SPLIT)
- 0.5 CREDIT:** EFFICIENT BUILDING ENVELOPE PER TABLE R406.3 OPTION 1.3. SEE VALUES BELOW
- 2.0 CREDITS:** HIGH EFFICIENCY HVAC PER TABLE R406.3 OPTION 3.6. DUCTLESS MINI-SPLIT SYSTEM WITH NO ELECTRIC RESISTANCE HEATING IN PRIMARY LIVING AREA. HSPF 10 MIN.

INSULATION

- ROOF: R-49 MINIMUM
- WALLS: R-21 MINIMUM
- FLOORS: R-38 MINIMUM
- HEADERS: R-10
- WINDOWS: U = 0.28 MAX
- INSULATE ALL HW DISTRIBUTION PIPES TO R-3 MINIMUM
- MAINTAIN REQUIRED 1" MIN. AIRSPACE AT ROOF INSULATION
- HEATING UNITS TO MAINTAIN 70 DEGREES F AT 3 FT. ABOVE FLOOR WHEN OUTSIDE TEMPERATURE IS 10 DEGREES F.
- CAULK ALL JOINTS AROUND EXTERIOR OPENINGS AND AT ANY JOINTS IN SIDING OR FLASHING WHERE AIR INFILTRATION IS POSSIBLE.
- RECESSED CAN LIGHT MUST BE IC RATED AND SEALED
- FILL VOIDS AND CRACKS AT EXTERIOR WALLS WITH CAULK, INSULATION OR FOAM.
- PROVIDE WEATHERSTRIPPING AT ALL WINDOWS

WHOLE HOUSE VENTILATION AT ADDITION (NO WORK AT EXISTING HOUSE)

- VENTILATION, INCLUDING WHOLE HOUSE VENTILATION AND POINT OF USE EXHAUST FANS SHALL MEET THE REQUIREMENTS OF IRC M1505.
- WHOLE HOUSE VENTILATION SHALL BE PROVIDED USING EXHAUST FANS PER IRC TABLE M1505.4.3(1). IN CONTINUOUS OPERATION A MINIMUM OF 30 CFM IS REQUIRED. PROVIDE CAPABILITY FOR FAN TO OPERATE EITHER CONTINUOUSLY OR INTERMITTENTLY WITH TIMER.
- EXHAUST FAN LOCATION IS AT LAUNDRY. SPECIFIED FAN IS RATED AT 90 CFM. FAN MAXIMUM SOUND RATING: 1.0 SONE. MINIMUM INTERMITTENT RUN TIME NO LESS THAN 1 HOURS IN EVERY 2 HOUR SEGMENT PER TABLE 1505.4.3(2).
- UNDERCUT LAUNDRY DOOR MINIMUM 1" ABOVE FINISHED FLOOR.
- PROVIDE SCREENED PASSIVE FRESH AIR INLET VENT WITH BACKDRAFT DAMPER AT MEDIA ROOM. (PANASONIC FV-GKF3251 OR EQUIVALENT ALDES AIRLET).

STORM DRAINAGE

- NET REDUCTION OF IMPERVIOUS SURFACE OF 14 SF.**
- SEE IMPERVIOUS CALCULATIONS ON A-1
- ALL STORM DRAINAGE FROM ADDITION TO BE TIED INTO EXISTING STORM DRAINAGE SYSTEM
- TIE ALL NEW DOWNSPOUTS TO EXISTING.
- NEW SPACED WOOD DECK IS LOCATED OVER EXISTING SOIL. 1/4" SPACING BETWEEN BOARDS.

ADDITION

4524 90th AVENUE SE
MERCER ISLAND, WA

OWNER:

ERIN DILLON and JORDAN NAFTOLIN
4524 90th AVENUE SE
MERCER ISLAND, WA

ARCHITECT:

HERSCHEL PARNES
1604 MADRONA DRIVE
SEATTLE, WA 98122
206-856-5215
parnes.arch@gmail.com

APN: 09110-0140

LEGAL DESCRIPTION:

LOT 12 BLOCK 2 ALLVIEW HEIGHTS ADDITIO
LESS S 5 FT TGV S 10 FT OF LOT 13

LOT COVERAGE

LOT AREA (Core Design Survey): **10163 SF**

ALLOWABLE COVERAGE (40%): 4065 SF

HOUSE (existing): 2275 SF
COVERED PATIO (EXIST. GAZEBO): 165 SF
VEHICULAR (existing): 926 SF
EXISTING COVERAGE: 3366 SF

HOUSE (proposed): 2880 SF
COVERED PATIO (EXIST. GAZEBO): 165 SF
VEHICULAR (proposed): 470 SF
PROPOSED COVERAGE: 3515 SF

% LOT COVERAGE (PROPOSED): 34.5 %

IMPERVIOUS SURFACE

HOUSE (existing): 2275 SF
PATIOS (grouted brick, existing): 794 SF
WALKWAY (existing): 84 SF
DRIVEWAY (existing): 926 SF
EXISTING IMPERVIOUS: 4079 SF

HOUSE (w/addition, increased): 2880 SF
PATIOS (grouted brick, reduced): 590 SF
WALKWAY (no change): 84 SF
HOT TUB (new): 41 SF
DRIVEWAY (reduced): 470 SF
PROPOSED IMPERVIOUS: 4065 SF

NET IMPERVIOUS REDUCTION: 14 SF
% PROPOSED IMPERVIOUS: 40.0 %

GROSS FLOOR AREA

EXISTING: 2639 SF
MAIN FLOOR: 1296 SF
2ND FLOOR: 926 SF
GARAGE: 417 SF

PROPOSED 3207 SF
MAIN LEVEL: 1864 SF
2ND FLOOR: 926 SF
GARAGE: 417 SF

% GROSS FLOOR AREA: 31.6%

HARDSCAPE

9% + BORROWED COVERAGE
915 SF + (4065 - 3515) = 1465 SF ALLOWABLE

EXISTING 791 SF
PATIOS: 629 SF
WALKWAY (CONC. AT FRONT; PAVERS ON SOIL AT REAR): 112 SF
ROCKERY: 50 SF

PROPOSED 747 SF
PATIOS: 425 SF
WALKWAY: 84 SF (28 SF OF PAVERS ON SOIL AT REAR REMOVED)
ROCKERY: 50 SF
SPACED WOOD DECK ABOVE SOIL: 137 SF
STAIRS: 10 SF
HOT TUB: 41 SF

% HARDSCAPE PROPOSED: 7.4%

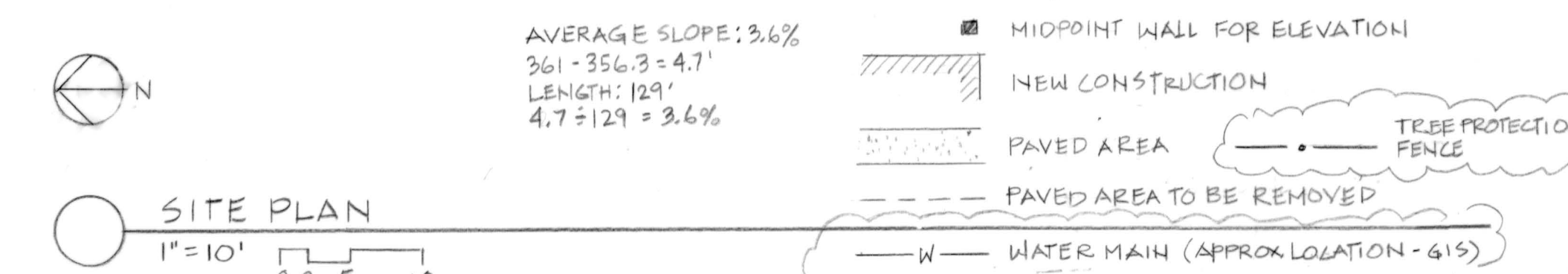
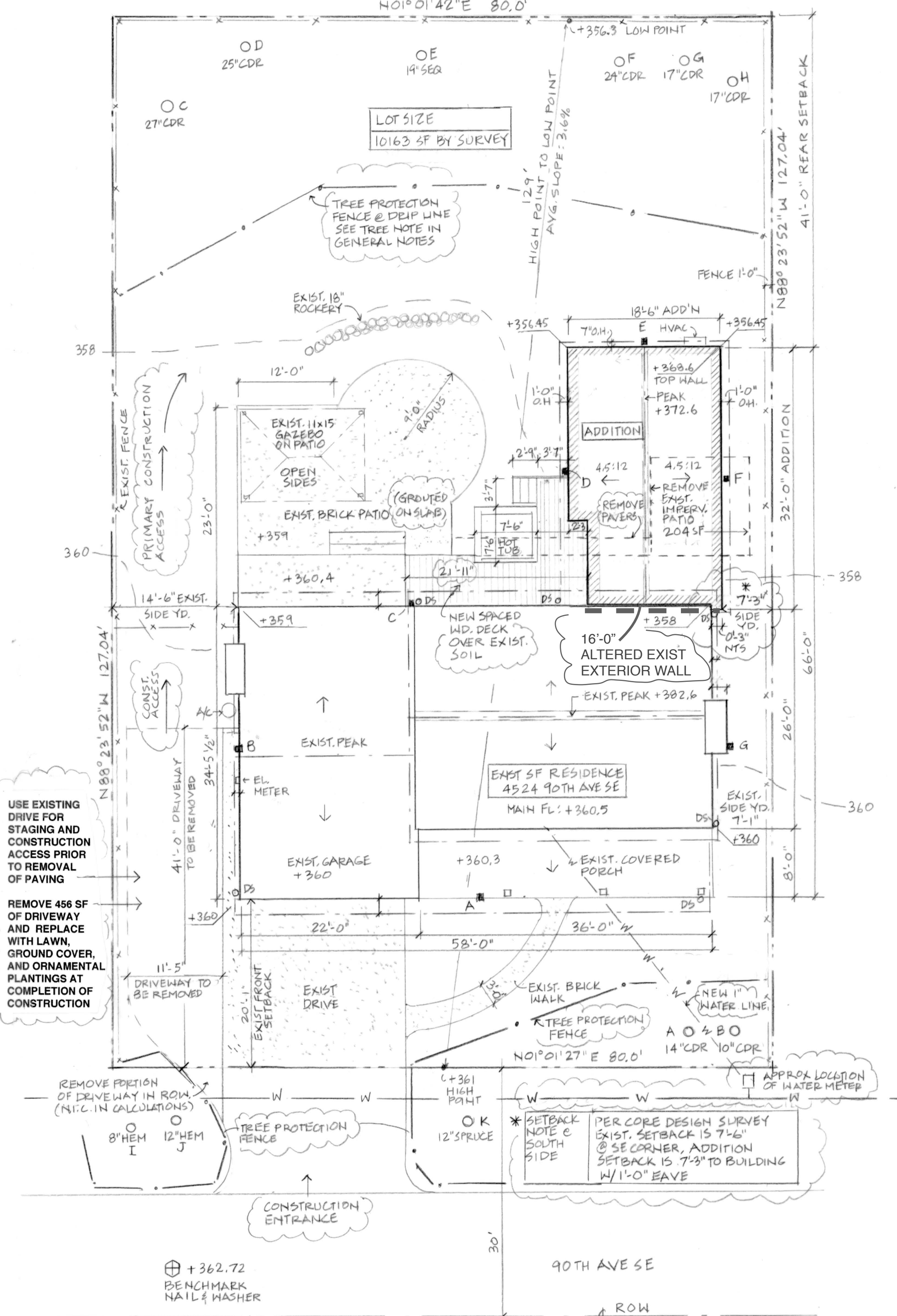
TREES

TREES ARE NOTED AND NUMBERED ON SITE PLAN AND ON TREE INVENTORY. NO TREES WILL BE REMOVED OR IMPACTED BY THIS PROJECT. FENCE REQUIRED TO PROTECT TREES AT DRIP LINES AS SHOWN ON SITE PLAN. FENCING TO BE CHAIN LINK OR HD POLYETHYLENE (IF APPROVED BY CITY ARBORIST) AND INSTALLED PER MERCER ISLAND GUIDELINES.

CALCULATION FOR EXISTING SETBACK

ALTERED WALL: - - - - -
LENGTH OF EXISTING DWELLING WALLS: 184.5 LF
LENGTH OF ALTERED EXISTING WALLS: 16.0 LF
% ALTERED: 8.7%

TOPOGRAPHY NOTE
CONTOURS DETERMINED BY CORE DESIGN SURVEYED SPOT ELEVATIONS, M1 GIS LIDAR, & TERRANE SURVEY OF 4518 90TH AVE SE



AVERAGE BUILDING ELEVATION: +358.96

	ELEV	LENGTH	=	
A	+360.0 x	58.0'	=	20880
B	+360.0 x	34.5'	=	12420
C	+359.1 x	41.8'	=	15010
D	+357.7 x	31.5'	=	11267
E	+356.5 x	18.5'	=	6595
F	+358.0 x	32.0'	=	11456
G	+359.4 x	34.0'	=	12220
TOTALS:		250.3		89848

89848 + 250.3 = +358.96 AVE

DRAWING LIST

A1	SITE PLAN, GENERAL NOTES, CALCULATIONS, PROJECT INFO
A2	FLOOR PLANS
A3	ELEVATIONS, SECTIONS, WINDOW SCHEDULE
S1	STRUCTURAL GENERAL NOTES
S1.1	FOUNDATION, MAIN FLOOR FRAMING, ROOF FRAMING (ADDITION)
S2	STRUCTURAL DETAILS, SW SCHEDULE
S4	STRUCTURAL DETAILS
SU	PARTIAL SURVEY (SPOT ELEVATIONS, SOUTH SIDE YARD SETBACK)

REGISTERED ARCHITECT
HERSCHEL PARNES
STATE OF WASHINGTON

STRUCTURAL ENGINEER
HERSCHEL PARNES
2124 THIRD AVE, SUITE 100
SEATTLE, WA 98121
206-443-6612
egibson@sfeengineers.com

ARCHITECT
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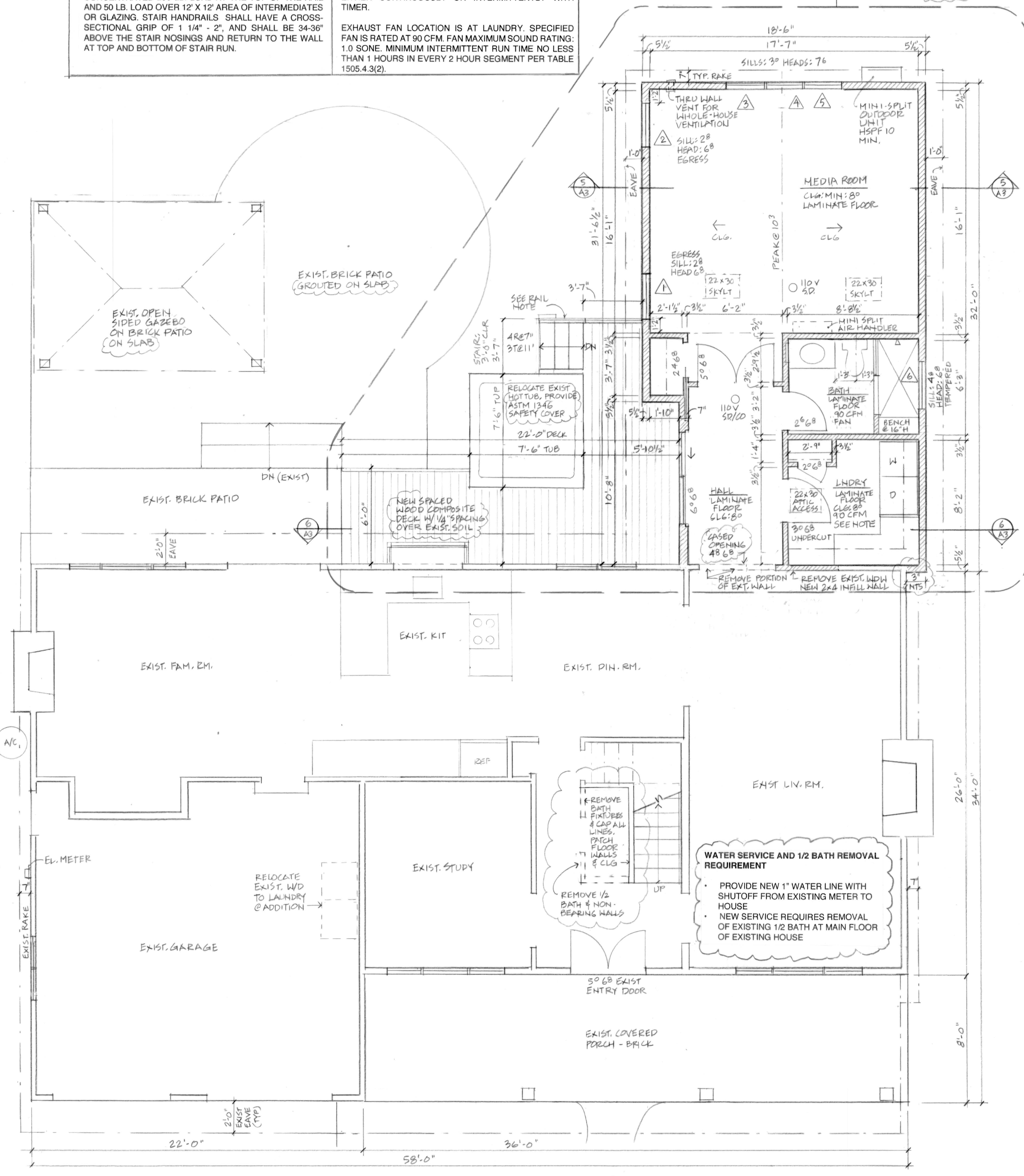
PROJECT ADDITION
4524 90th AVE S.E.
MERCER ISLAND, WA 98040

Δ1-30-23
Δ1-5-23
9-30-22

A1

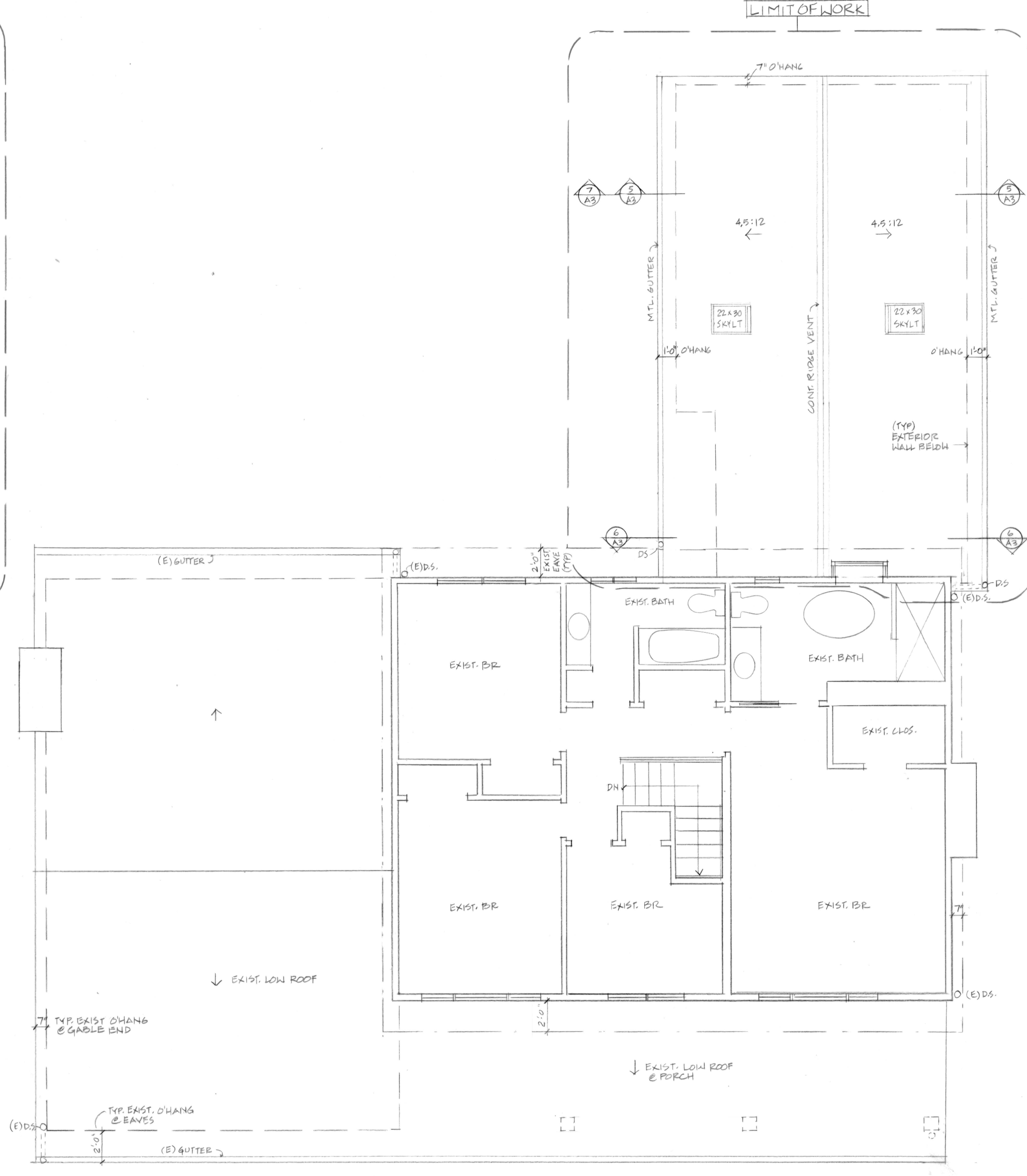
RAILING NOTE
 GUARDRAILS SHALL BE 36" H. ELEMENTS OF THE RAIL SYSTEM SHALL BE CONSTRUCTED SO THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH RAILINGS AND SHALL BE CONSTRUCTED TO RESIST A CONCENTRATED 200 LB. LOAD AT THE TOP OF THE RAIL AND 50 LB. LOAD OVER 12' X 12' AREA OF INTERMEDIATES OR GLAZING. STAIR HANDRAILS SHALL HAVE A CROSS-SECTIONAL GRIP OF 1 1/4" - 2", AND SHALL BE 34-36" ABOVE THE STAIR NOSINGS AND RETURN TO THE WALL AT TOP AND BOTTOM OF STAIR RUN.

VENTILATION NOTE (ALSO SEE GENERAL NOTES ON A-1)
 WHOLE HOUSE VENTILATION SHALL BE PROVIDED USING EXHAUST FANS PER IRC TABLE M1505.4.3(1). IN CONTINUOUS OPERATION A MINIMUM OF 30 CFM IS REQUIRED. PROVIDE CAPABILITY FOR FAN TO OPERATE EITHER CONTINUOUSLY OR INTERMITTENTLY WITH TIMER.
 EXHAUST FAN LOCATION IS AT LAUNDRY. SPECIFIED FAN IS RATED AT 90 CFM. FAN MAXIMUM SOUND RATING: 1.0 SONE. MINIMUM INTERMITTENT RUN TIME NO LESS THAN 1 HOUR IN EVERY 2 HOUR SEGMENT PER TABLE 1505.4.3(2).



1 MAIN FLOOR PLAN
 1/4" = 1'-0"
 GFA (EXISTING): 1296 SF GFA (NEW): 568 SF

LIMIT OF WORK
 EXCEPT AS NOTED FOR REMOVAL OF EXIST. 1/2 BATH



2 2ND FLOOR PLAN & ROOF PLAN @ ADDITION
 1/4" = 1'-0"
 GFA (EXISTING): 926 SF

REGISTERED ARCHITECT
 D. PARNES
 4524 90TH AVE S.E.
 SEATTLE, WA 98122

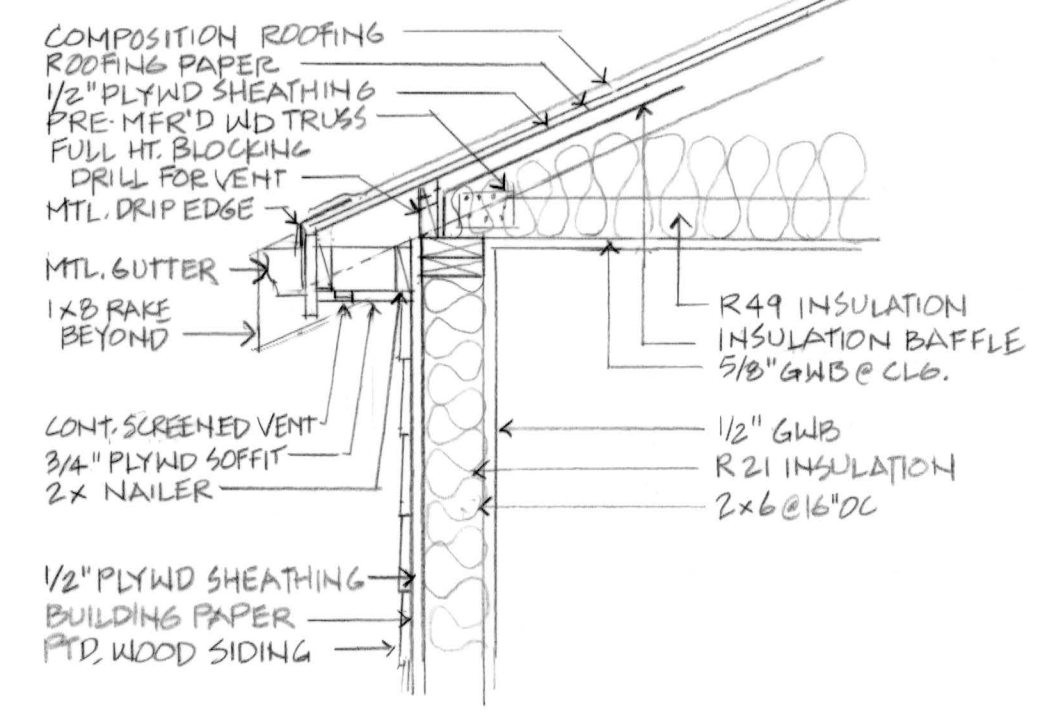
STRUCTURAL ENGINEER
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 206-444-6212
 dparnes@sstengineers.com

ARCHITECT
 HERSHELL D. PARNES
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 SEATTLE, WA 98122
 206-728-0902
 parnes.arch@gmail.com

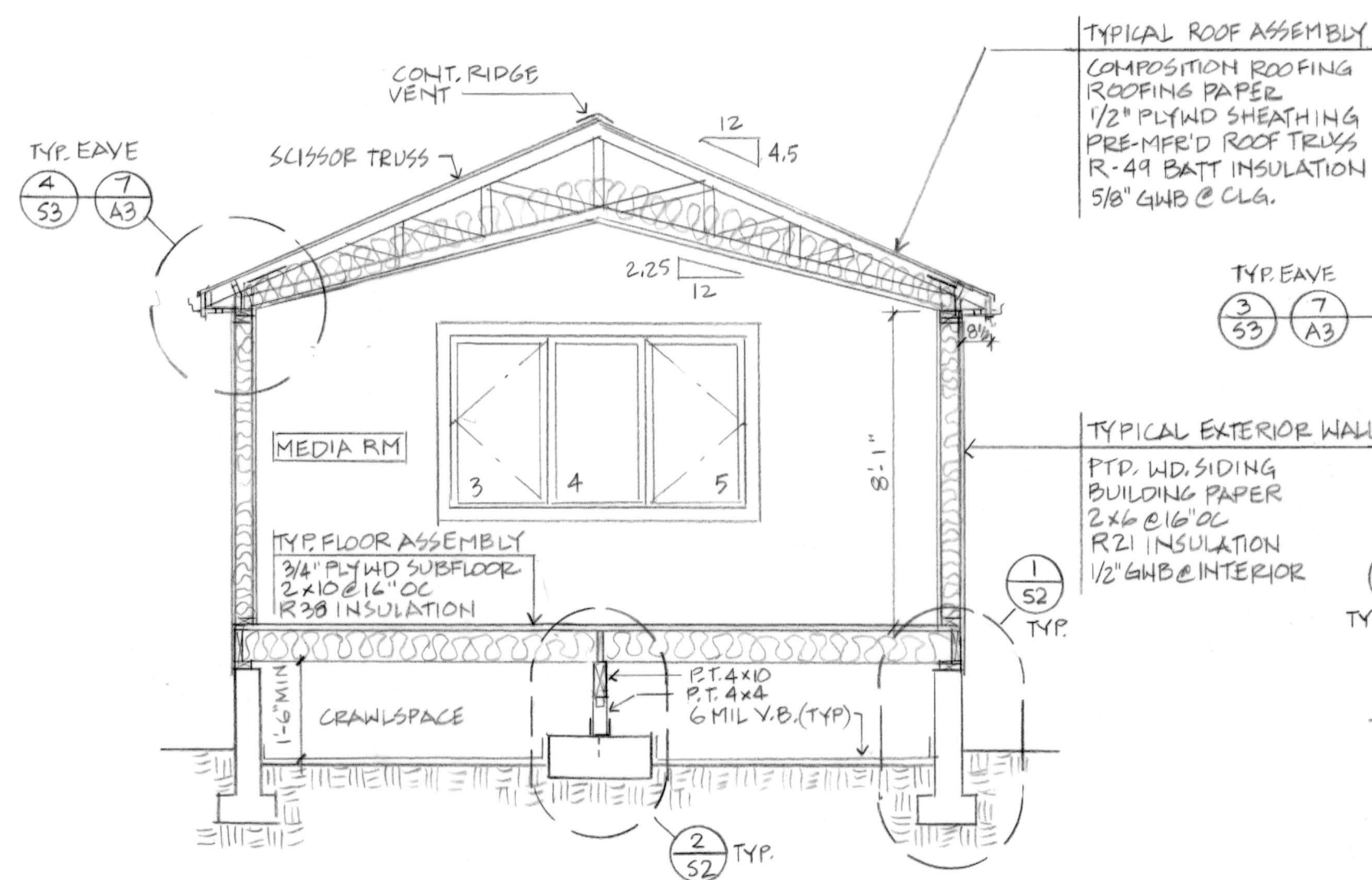
PROJECT
 ADDITION
 4524 90TH AVE S.E.
 MERCER ISLAND, WA 98040

A1-5-23
 9-30-22

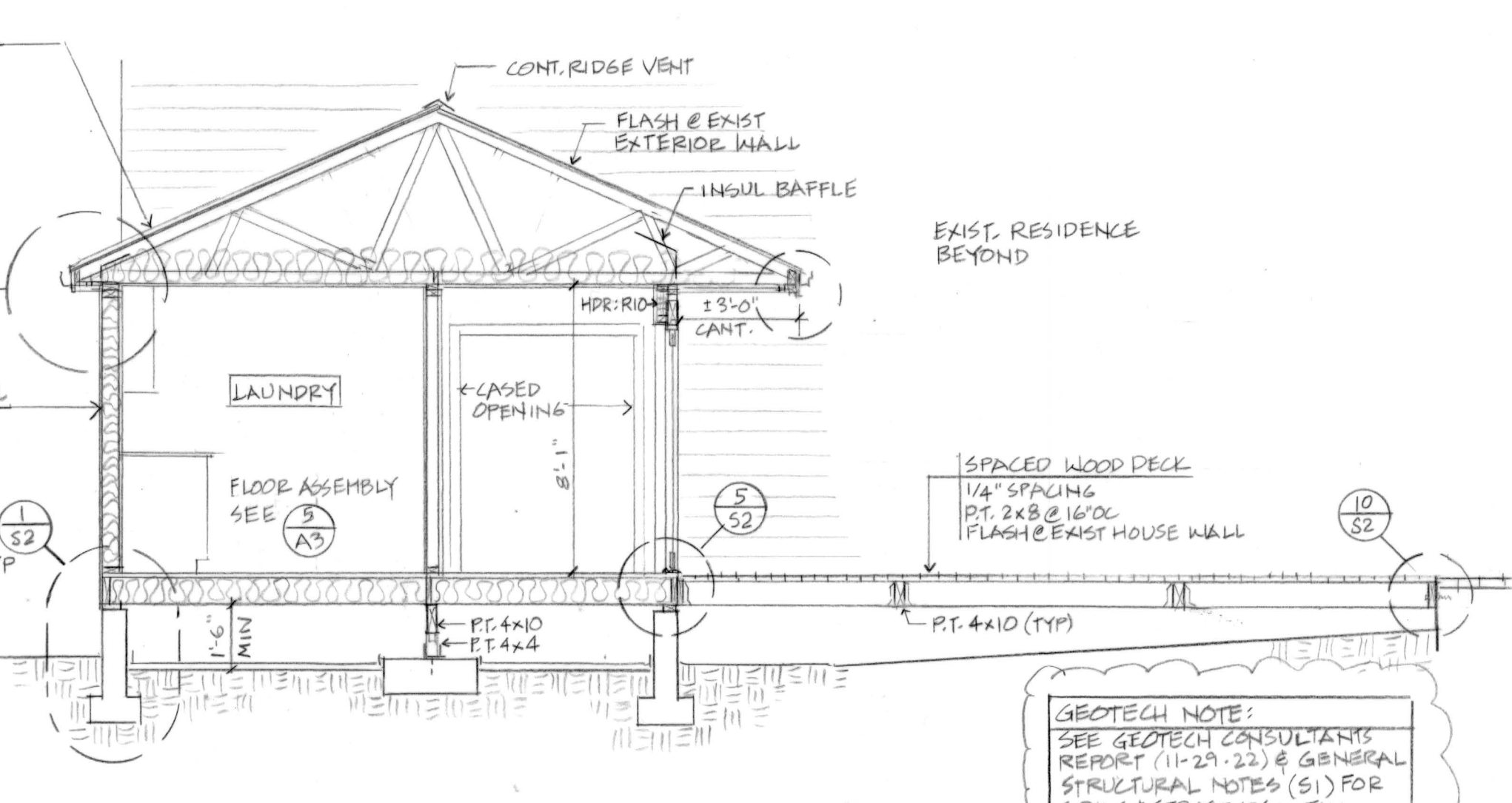
A2



7 DETAIL TYPICAL EAVE @ ADDITION
 3/4" = 1'-0"
 0 3' 6" 1'



5 SECTION LOOKING EAST - SCISSOR TRUSS - SEE S1, S2, S3
 1/4" = 1'-0"
 0 1 2 4



6 SECTION LOOKING WEST - COMMON TRUSS - SEE S1, S2, S3
 1/4" = 1'-0"
 0 1 2 4

WINDOW AND GLAZED DOOR SCHEDULE

1. PROVIDE SCREENS AT OPERABLE WINDOWS.
 2. SIZES GIVEN ARE NOMINAL. CONFIRM WITH WINDOW MANUFACTURER AND FRAME TO FIT.

CT: CASEMENT
 FG: FIXED GLASS
 SL: SLIDER

ALL WINDOWS: MAX U = 0.28

NUMBER	SIZE (W X H)	TYPE	AREA	REMARKS
1	3'-0" X 4'-0"	CT	12.0 SF	EGRESS
2	3'-0" X 4'-0"	CT	12.0 SF	EGRESS
3	2'-6" X 4'-6"	CT	11.25 SF	MULL WDWS 3,4,5
4	2'-6" X 4'-6"	FG	11.25 SF	
5	2'-6" X 4'-6"	CT	11.25 SF	
6	4'-0" X 2'-0"	SL	8.0 SF	TEMPERED

GLAZED DOORS

A	6'-0" X 6'-8"	SL. GL. DR.	40.0 SF	WSTRIP
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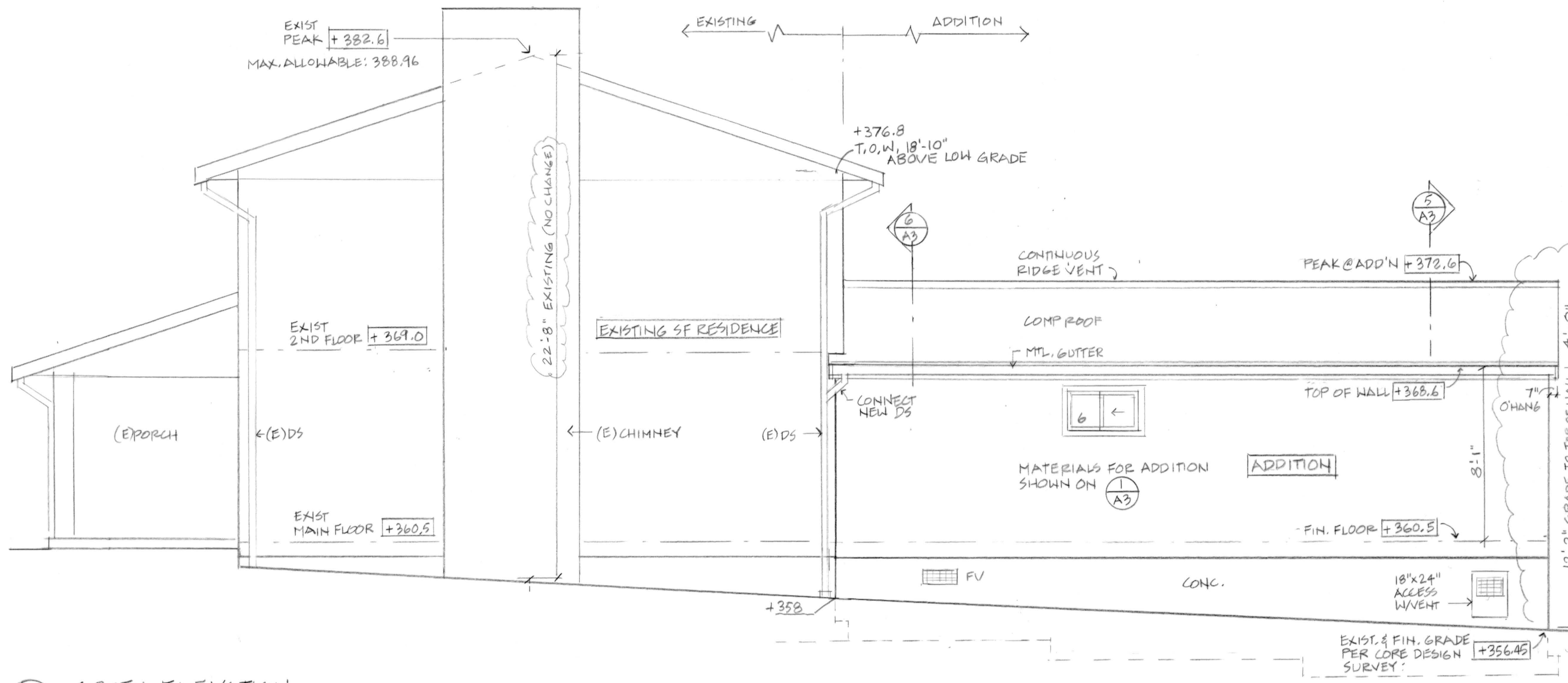
SKYLIGHTS

2	SKYLIGHTS	1'-10 1/2" X 3'0"		
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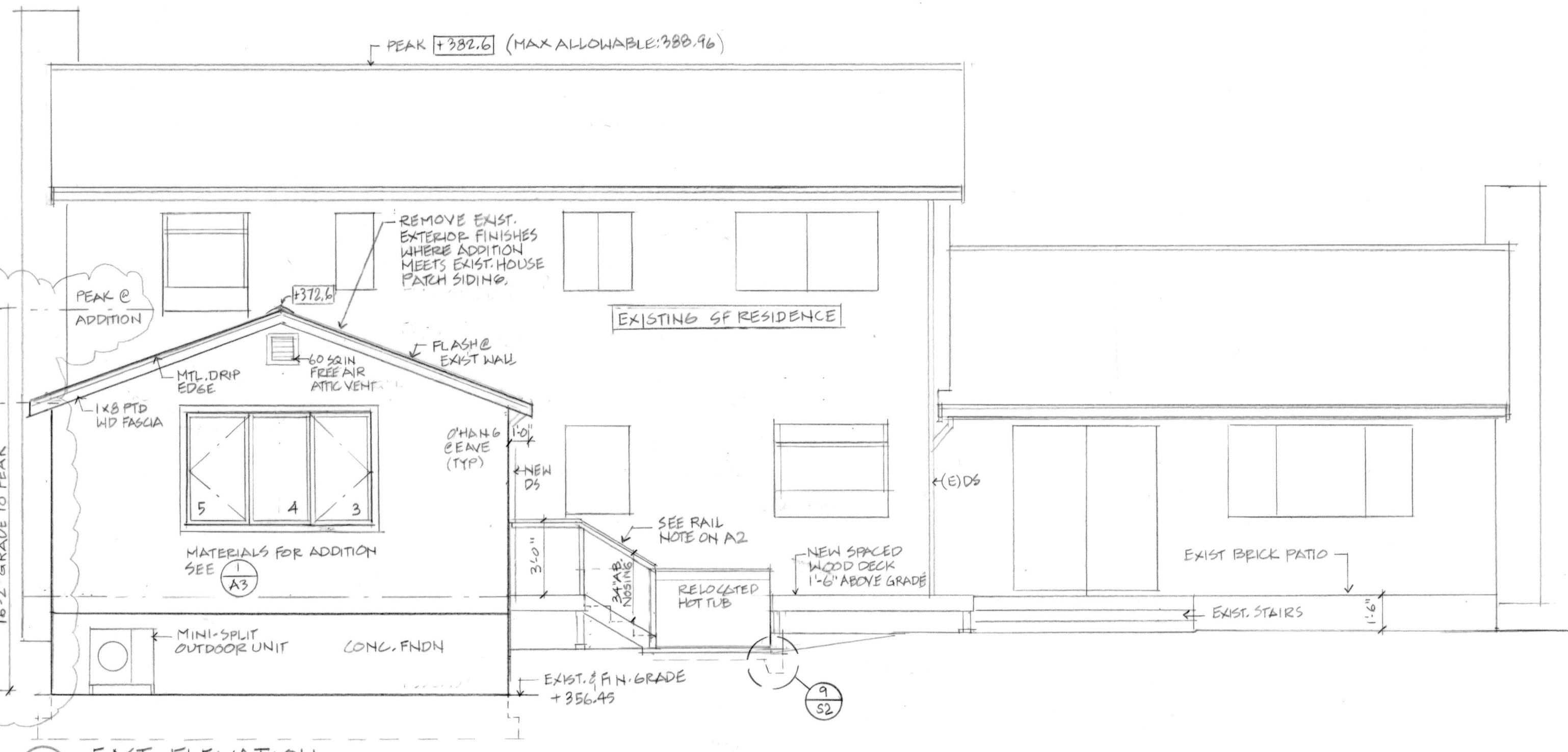
TOTALS

WINDOWS:	65.75 SF
GLAZED DOORS:	40.0 SF
SKYLIGHTS:	5.7 SF

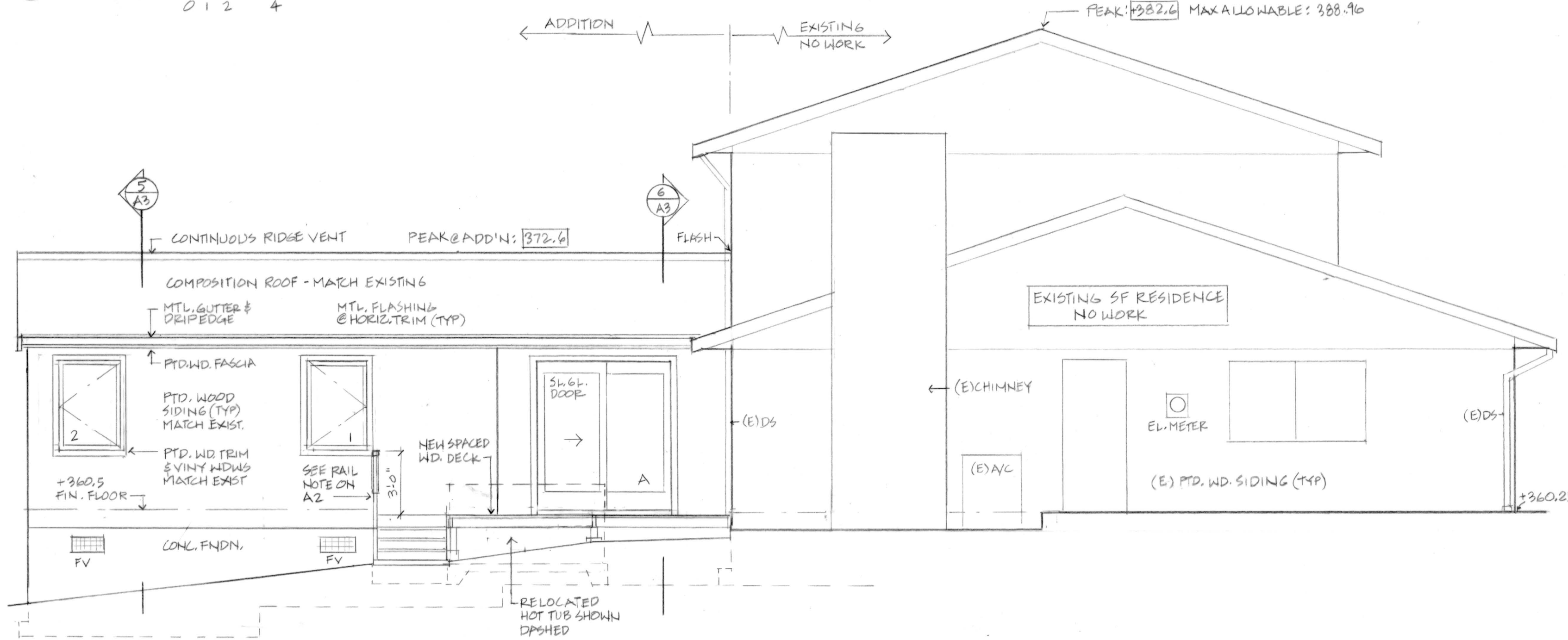
GEOTECH NOTE:
 SEE GEOTECH CONSULTANT'S REPORT (11-25-22) & GENERAL STRUCTURAL NOTES (S1) FOR SOILS & STRUCTURAL FILL



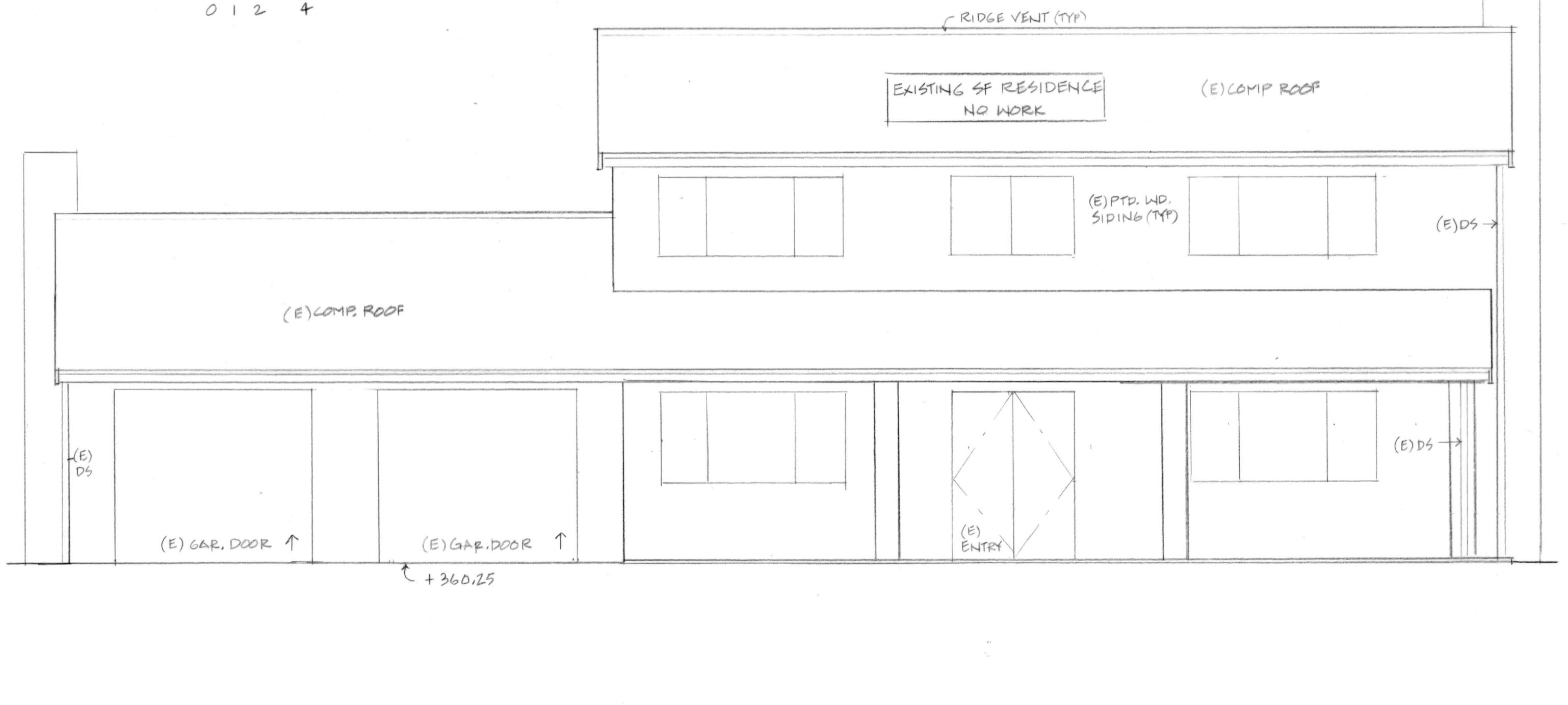
3 SOUTH ELEVATION
 1/4" = 1'-0"
 0 1 2 4



4 EAST ELEVATION
 1/4" = 1'-0"
 0 1 2 4



1 NORTH ELEVATION
 1/4" = 1'-0"
 0 1 2 4



2 WEST ELEVATION
 1/4" = 1'-0"
 0 1 2 4

REGISTERED ARCHITECT
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 206-445-6212
 esgibson@sfaengineers.com

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 206-728-0602
 parnes.arch@gmail.com

PROJECT
 ADDITION
 4824 90TH AVE. S.E.
 MERCER ISLAND, WA 98040

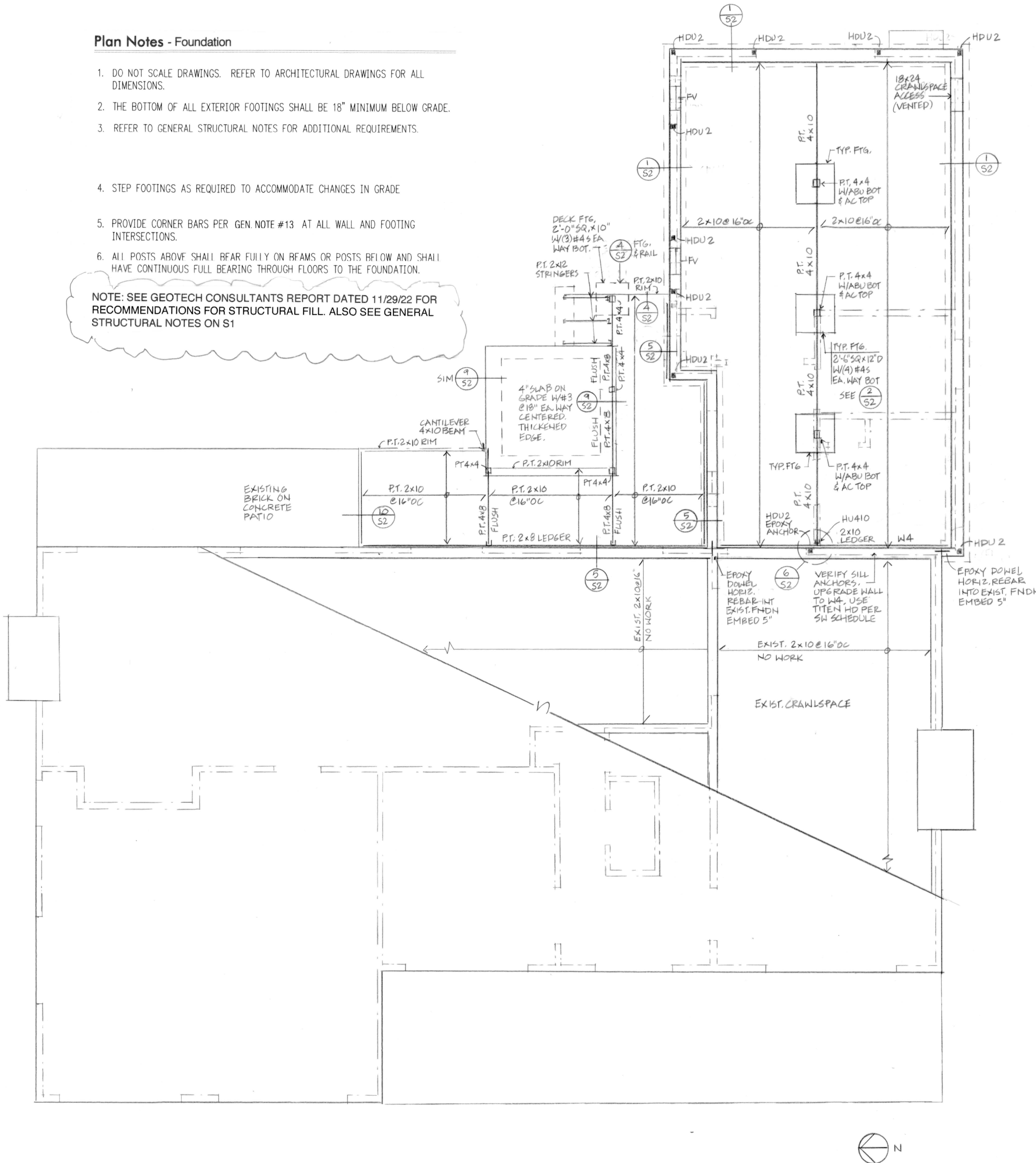
Δ 1-5-23
 9-30-22

A3

Plan Notes - Foundation

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
- STEP FOOTINGS AS REQUIRED TO ACCOMMODATE CHANGES IN GRADE.
- PROVIDE CORNER BARS PER GEN. NOTE #13 AT ALL WALL AND FOOTING INTERSECTIONS.
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.

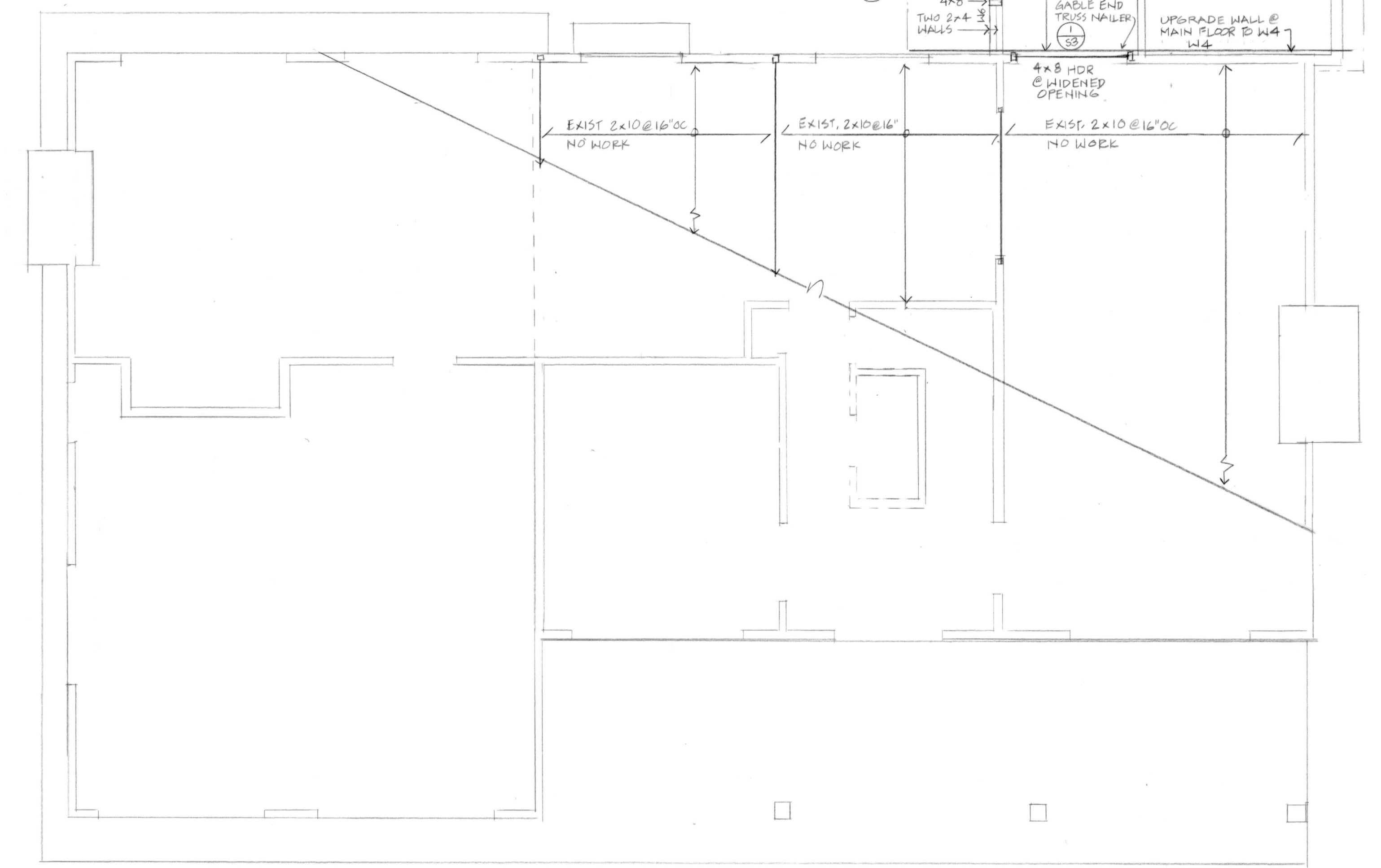
NOTE: SEE GEOTECH CONSULTANTS REPORT DATED 11/29/22 FOR RECOMMENDATIONS FOR STRUCTURAL FILL. ALSO SEE GENERAL STRUCTURAL NOTES ON S1



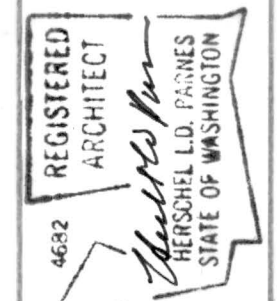
1 FOUNDATION & MAIN FLOOR FRAMING AT ADDITION & PARTIAL EXISTING MAIN FLOOR FRAMING
1/4" = 1'-0"

Plan Notes - Framing Plans

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- ROOF SHEATHING SHALL BE 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING AT ALL FRAMED PANEL EDGES WITH 8D AT 6" O.C. AND TO ALL INTERMEDIATE FRAMING AT 12" O.C.
- HEADERS OVER DOOR AND WINDOW OPENINGS SHALL BE 4X8 MINIMUM. PROVIDE (2) TRIMMER STUDS (MINIMUM) AT EACH END OF ALL HEADERS UNLESS NOTED OTHERWISE ON PLANS. SEE DETAIL 5/S3 FOR TYPICAL INSTALLATION.
- PROVIDE (2) STUDS (MINIMUM) AT EACH END OF ALL BEAMS UNLESS NOTED OTHERWISE ON PLANS. BEAR BEAM FULLY ON BUILT UP COLUMN AND PROVIDE AC, PC, OR LPC CAP.
- W # INDICATES SHEAR WALL. SEE SHEARWALL SCHEDULE FOR CONSTRUCTION REQUIREMENTS.
- ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE ON PLANS.
- PROVIDE H1 HURRICANE TIE AT EACH TRUSS/RAFTER WHERE IT BEARS ON EXTERIOR WALL.
- FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVE A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 48/24). GLUE AND NAIL AT ALL FRAMED PANEL EDGES WITH 8D AT 6" O.C. AND TO ALL INTERMEDIATE FRAMING AT 12" O.C.



2 ROOF FRAMING AT ADDITION & PARTIAL EXISTING 2ND FLOOR FRAMING
1/4" = 1'-0"



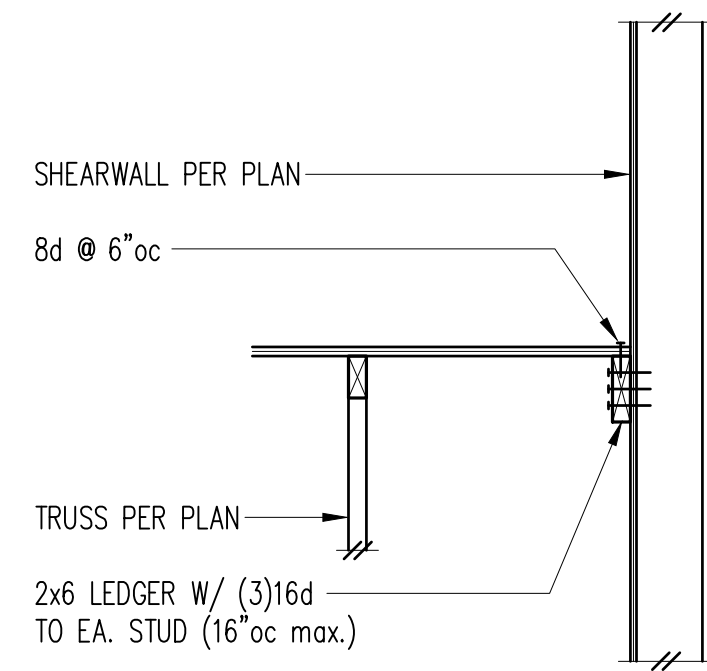
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PROJECT
ADDITION TO 1000 N. S.E.
MERCER ISLAND, WA 98040

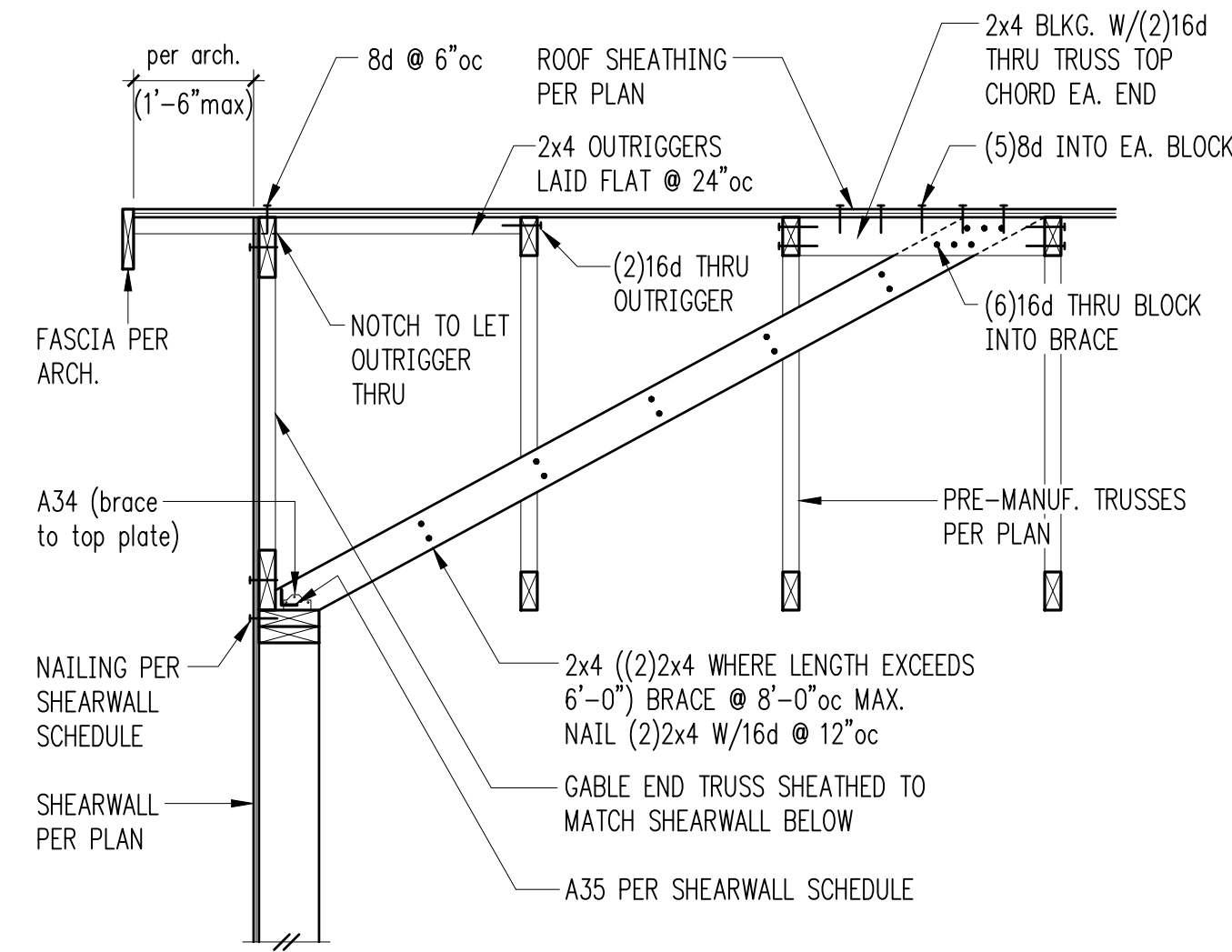
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S1.1



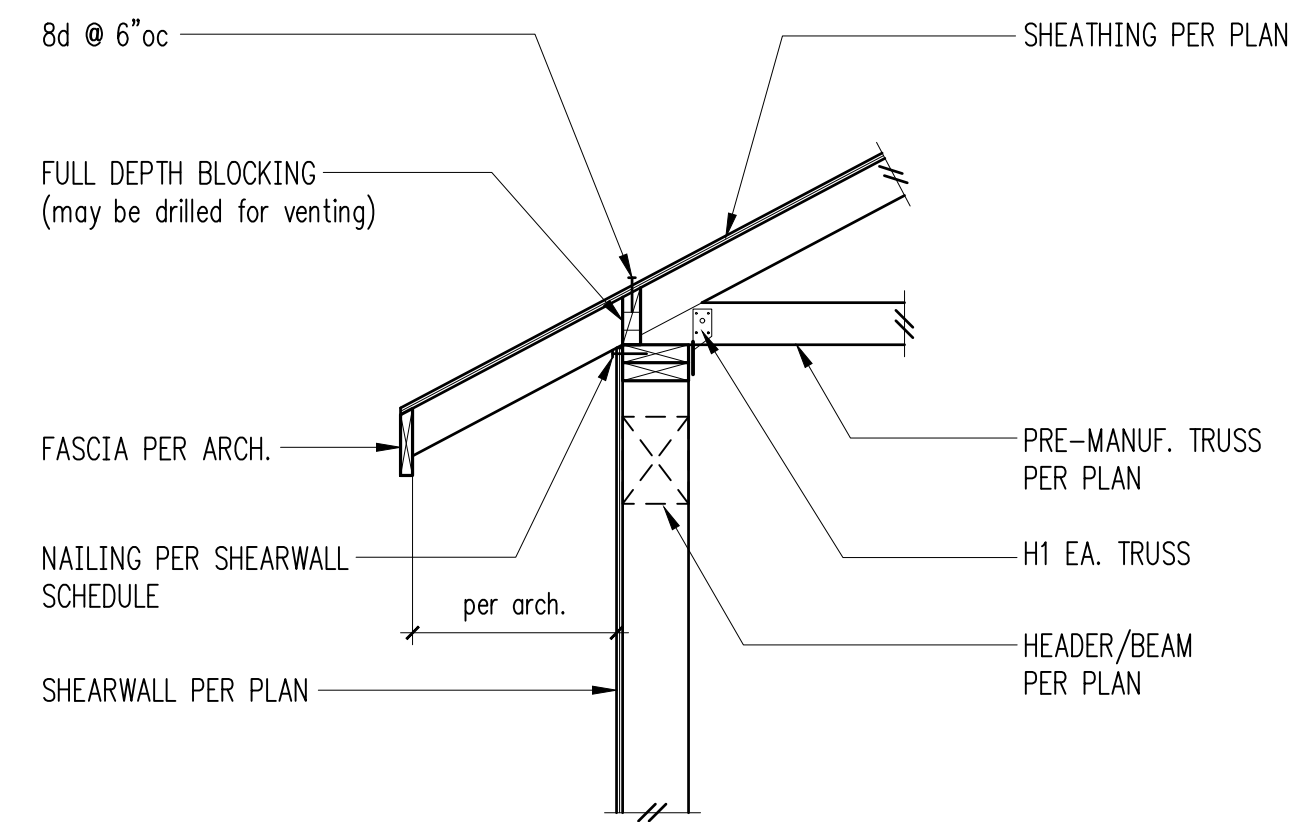
Trusses Parallel to Exterior Wall

1



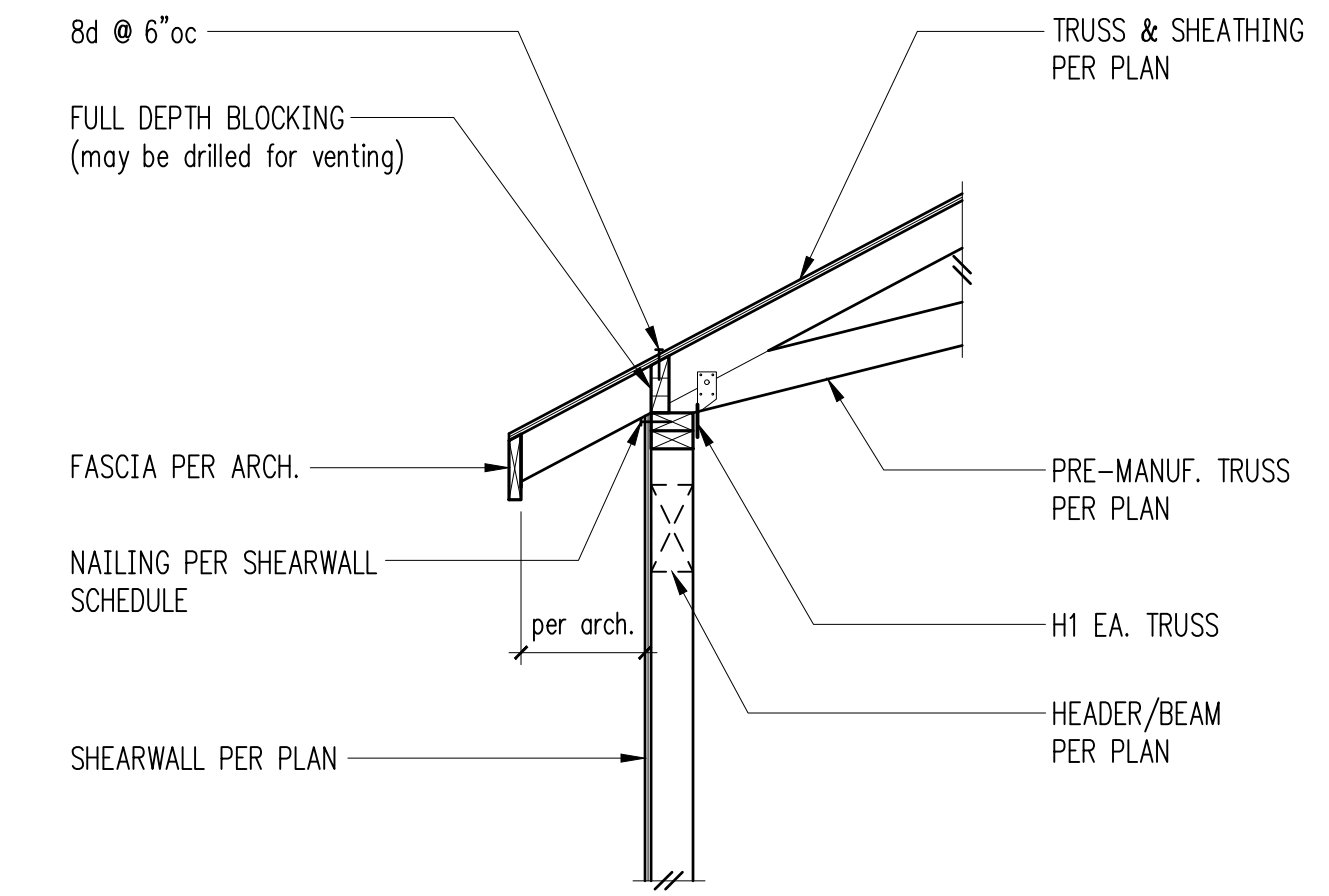
Exterior Non-Bearing Wall

2



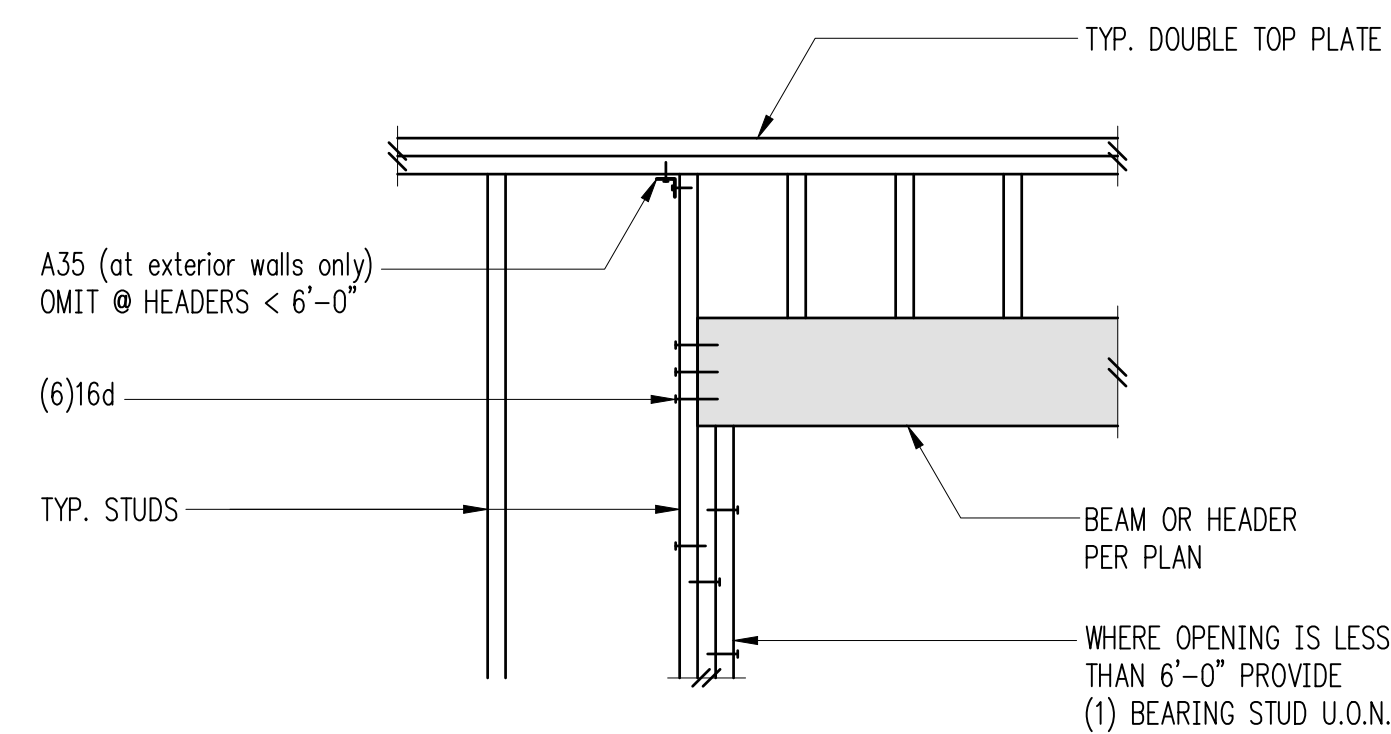
Exterior Bearing Wall

3



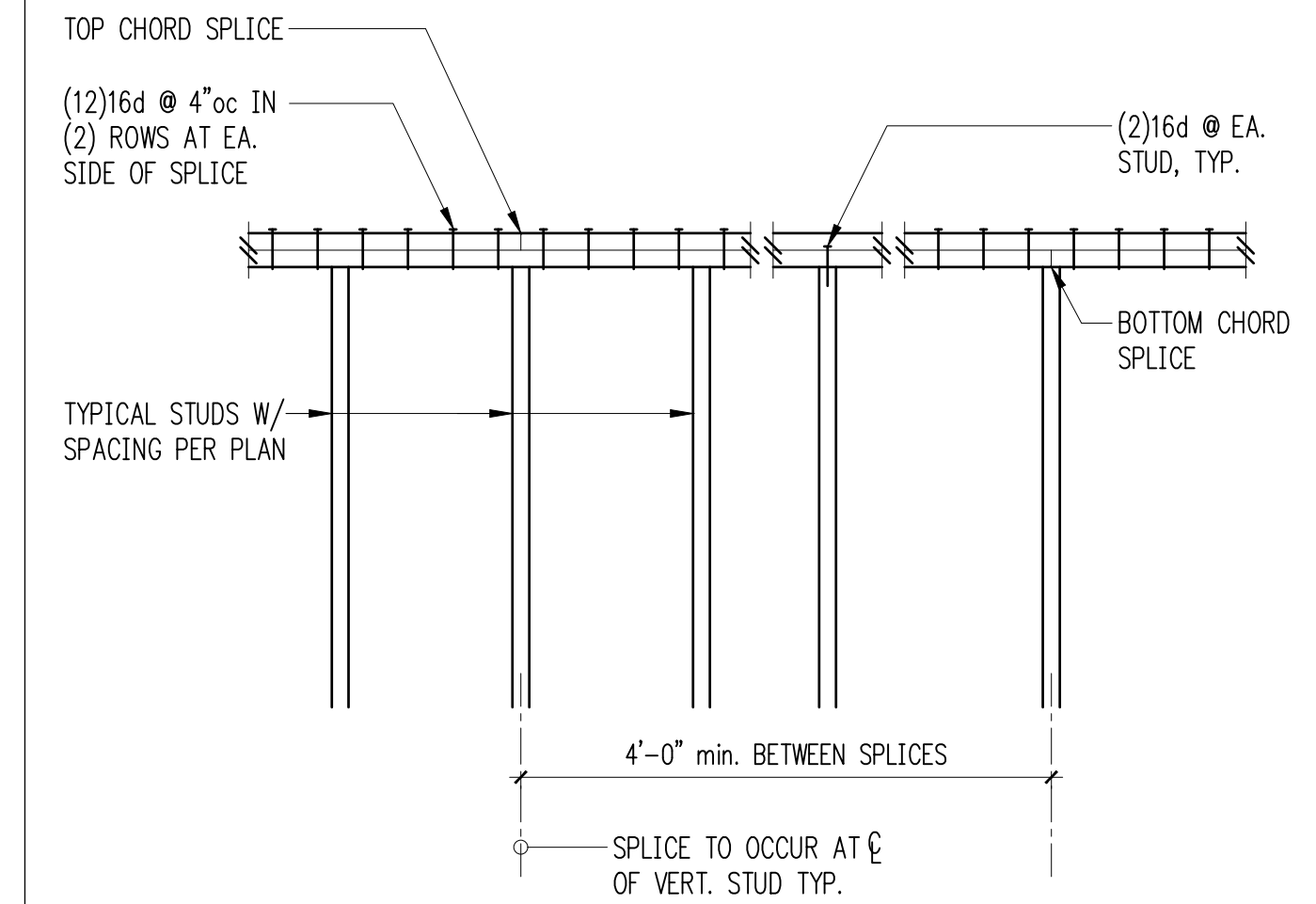
Scissors Trusses Exterior Bearing Wall

4



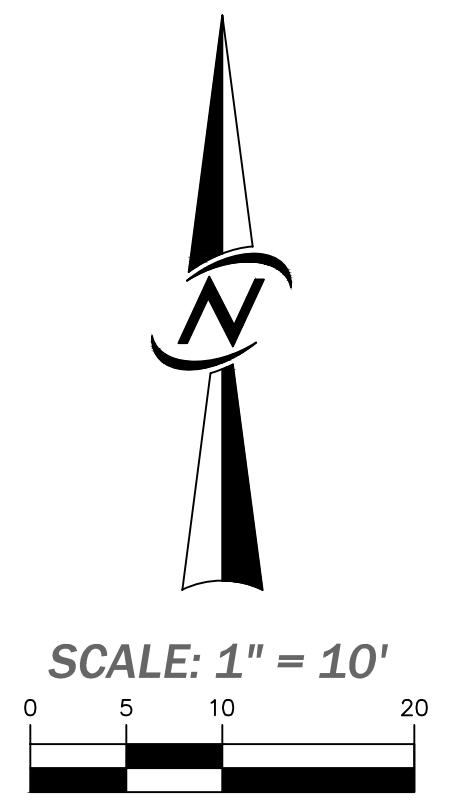
Typical Header Support

5



Typical Top Plate Splice

6



LEGEND

○ FOUND SURVEY MARKER, AS NOTED

— x — FENCE LINE

VERTICAL DATUM
NAVD88 PER GNSS OBSERVATIONS

PROJECT BENCHMARKS
SET NAIL AND WASHER
MARKED "CORE CONTROL" SEE MAP FOR LOCATION
ELEVATION = 362.72

BASIS OF BEARINGS
N01°01'27"E BETWEEN THE TWO FOUND PROPERTY CORNERS ALONG THE EASTERLY RIGHT-OF-WAY MARGIN OF 90TH AVENUE NE.

REFERENCES

- CITY OF MERCER ISLAND SHORT PLAT NUMBER SUB18-006, RECORDED UNDER KING COUNTY RECORDING NUMBER 20191210900008.

LEGAL DESCRIPTION
THE NORTH 70 FEET OF LOT 12, AND THE SOUTH 10 FEET OF LOT 13, IN BLOCK 2 IF ALLWEY HEIGHTS ADDITION TO SEATTLE, AS PER PLAT RECORDED IN VOLUME 16 OF PLATS, PAGE 20, RECORDS OF KING COUNTY.

NOTES

- THE LEGAL DESCRIPTION OF THIS PROPERTY HAS BEEN TAKEN FROM STATUTORY WARRANTY DEED RECORDED UNDER KING COUNTY RECORDING NUMBER 20210623001468. NO INDEPENDENT TITLE RESEARCH HAS BEEN PERFORMED BY CORE DESIGN, INC. THIS SURVEY DOES NOT REPORT ANY ENCUMBRANCES ON THE PROPERTY WHICH MAY BE REPORTED BY A TITLE AGENCY. CORE DESIGN THEREFOR QUALIFIES THIS SURVEY TO THAT EXTENT.
- THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON APRIL 4, 2022. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN APRIL, 2022.
- PROPERTY AREA = 10,163± SQUARE FEET (0.2333± ACRES).
- ALL DISTANCES ARE IN US FEET AT GROUND LEVEL.
- BOUNDARY INFORMATION SHOWN HEREON IS DERIVED FROM OBSERVATION OF CONTROLLING MONUMENTATION AND INTERPRETATION OF RECORD DESCRIPTIONS AND OTHER EVIDENCE. TOPOGRAPHIC INFORMATION SHOWN HEREON IS RELATED TO THE BOUNDARY BY DIRECT FIELD OBSERVATION FROM CONTROLLING MONUMENTATION.
- THIS IS A FIELD TRAVERSE SURVEY. A THREE SECOND COMBINED ELECTRONIC TOTAL STATION WAS USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

NO.	REVISIONS	DATE

CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
PLANNING
SURVEYING

12100 NE 195th St, Suite 300 Bothell, Washington 98011 425.885.7877

**EXISTING SETBACK SURVEY
DILLON-NAFTOLIN PROPERTY
ERIN DILLON AND JORDAN NAFTOLIN**

4524 90TH AVENUE SE
MERCER ISLAND, WA 98040

DATE: APRIL 6, 2022
DESIGNED: JEREMY REEFF
DRAWN: JEREMY REEFF
APPROVED: ROBERT D WEST, PLS
JEREMY REEFF
PROJECT MANAGER

SHEET	OF
1	1
PROJECT NUMBER	
22107	